



ONONDAGA COUNTY INDUSTRIAL DEVELOPMENT AGENCY

333 WEST WASHINGTON STREET, SUITE 130, SYRACUSE, NY 13202

PHONE: 315.435.3770 • FAX: 315.435.3669 • ONGOVED.COM

Meeting Agenda December 14, 2021

8:00 AM Call to Order the Meeting of the Agency

- A. Approval of Minutes- November 9, 2021
- B. Treasurer's Report
- C. Payment of Bills
- D. Conflict of Interest

Action Items

- 1. Stewart Hancock Partners LLC / Dunn Tire LLC (3101-21-12A) Second Meeting**
Stewart Hancock Partners LLC is proposing to build a 62,500 SF facility in the Town of Cicero. The applicant is requesting exemptions from certain sales and use taxes, real property taxes, real estate transfer taxes and mortgage recording taxes.

Agency Action Requested:

- a. A resolution of the Board to authorize adoption of SEQRA determination.
- b. A resolution of the Board authorizing the financial assistance the agency will provide.
Agency benefits requested include exemptions from certain sales and use taxes, real property taxes, real estate transfer taxes and mortgage recording taxes.

Representative: Joseph Cattalani, Managing Member, Stewart Hancock Partner, LLC

- 2. GSPP Sentinel Heights Road, LLC (3101-20-10B) Meeting to Modify**
GSPP Sentinel Heights Road, LLC is requesting the Board to consent to the sale of its membership interests.

Agency Action Requested:

- a. A resolution of the Board consenting to the sale of membership interest of a project applicant.

Representative: Jeffrey W. Davis, OCIDA Legal Counsel, Barclay Damon

3. **Quantum Cool, LLC & Cryomech, Inc. (3101-19-02A) Meeting to Modify Quantum Cool, LLC is requesting the Board to consent to the sale of its interests in the Company Project Facility.**

Agency Action Requested:

- a. A resolution of the Board approving the assignment of the right, title and interest in a Company Project Facility by Quantum Cool, LLC to Kelvin Kool LLC.

Representative: Charlie Wallace, Company Representative, Quantum Cool, LLC

4. **Active Project Review**
Annual assessments of projects as required by General Municipal Law Section 874(12).

Representative: Nancy Lowery, Secretary, OCIDA

Executive Session

5. **Purchase Contract Execution**
Authorization to enter into a purchase contract for property.

Agency Action Requested:

- a. A resolution of the Board authorizing the adoption of a SEQRA determination.
- b. A resolution of the Board authorizing the Executive Director to enter into a purchase contract and any related documents with respect to two parcels of property.

Representative: Robert Petrovich, Executive Director, OCIDA

Adjourn

- a. A resolution of the Board approving the assignment of the right, title and interest in a Company Project Facility by Quantum Cool, LLC to Kelvin Kool LLC.

Representative: Charlie Wallace, Company Representative, Quantum Cool, LLC

4. Active Project Review

- a. Annual assessments of projects as required by General Municipal Law Section 874(12).

Representative: Nancy Lowery, Secretary, OCIDA

Executive Session

5. Purchase Contract Execution

Authorization to enter into a purchase contract for property.

Agency Action Requested:

- a. A resolution of the Board authorizing the adoption of a SEQRA determination.
- b. A resolution of the Board authorizing the Executive Director to enter into a purchase contract and any related documents with respect to two parcels of property.

Representative: Robert Petrovich, Executive Director, OCIDA

Adjourn

SUBJECT TO BOARD APPROVAL

Onondaga County Industrial Development Agency Regular Meeting Minutes November 9, 2021

A regular meeting of the Onondaga County Industrial Development Agency was held on Tuesday, November 9, 2021 at 333 West Washington Street, Syracuse, New York in the large conference room on the first floor.

Patrick Hogan called the meeting to order at 8:02 am with the following:

PRESENT:

Patrick Hogan
Janice Herzog
Victor Ianno
Steve Morgan
Susan Stanczyk
Kevin Ryan

ABSENT:

Fanny Villarreal

ALSO PRESENT:

Robert M. Petrovich, Executive Director
Nate Stevens, Treasurer
Nancy Lowery, Secretary
Karen Doster, Recording Secretary
Jeff Davis, Barclay Damon Law Firm
Samantha Podlas, Barclay Damon Law Firm
Carolyn Evans-Dean, Office of Economic Development
Rebecca Shiroff, Office of Economic Development
Len Rauch, Office of Economic Development
Matt Acomb, NYCANNA, LLC
Dennis Duval, NYCANNA, LLC
Natalie Thompson, NYCANNA, LLC
David Spotts, SSC Cicero LLC
Catherine Johnson, COR

APPROVAL OF REGULAR MEETING MINUTES – OCTOBER 6 & OCTOBER 19, 2021

Upon a motion by Janice Herzog, seconded by Kevin Ryan, the OCIDA Board approved the regular meeting minutes of October 6, 2021 and October 19, 2021 meetings. Motion was carried.

TREASURER'S REPORT

Nate Stevens gave a brief review of the Treasurer's Report for the month of October 2021.

Upon a motion by Janice Herzog, seconded by Steve Morgan, the OCIDA Board approved the Treasurer's Report for the month of October 2021. Motion was carried.

PAYMENT OF BILLS

Nate Stevens gave a brief review of the Payment of Bills Schedule #463.

Patrick Hogan asked if Park Strategies is a yearly payment. Nate Stevens stated he believes it is monthly and he will get him more detail on that after the meeting.

Upon a motion by Janice Herzog, seconded by Kevin Ryan, the OCIDA Board approved the Payment of Bills Schedule #463 for \$565,164.02. Motion was carried.

CONFLICT OF INTEREST DISCLOSURE

The Conflict of Interest was circulated and there were no conflicts reported.

NYCANNA, LLC (3101-21-14A) SECOND MEETING

Nancy Lowery stated a public hearing was held and a board member from the Town of DeWitt voiced his support for the project.

Matthew Acomb stated currently there are 4 major grow rooms with 12,000 cannabis. He stated there is a corporate move towards a new type of growing which is a two tier growing and this is the first stage of construction on this type of system. He stated it is going to expand up to 18,400 square feet of cannabis which will increase the wholesale and increase their sales to the dispensaries within the State overall.

Jeff Davis stated from a SEQR standpoint all of this will be inside the existing building and the prepared resolution identifies that. He stated the recommendation is a negative declaration under SEQR.

Upon a motion by Susan Stanczyk, seconded by Steve Morgan, the OCIDA Board approved a resolution authorizing adoption of SEQRA negative declaration determination for the NYCANNA, LLC project. Motion was carried.

Upon a motion by Susan Stanczyk, seconded by Janice Herzog, the OCIDA Board approved a resolution authorizing the financial assistance the Agency will provide to include exemptions from certain sales and use taxes for the NYCANNA, LLC project. Motion was carried.

RPNY SOLAR 5, LLC (3101-21-13A)

Patrick Hogan asked if a public hearing was held. Nancy Lowery stated yes and there were no comments.

Robert Panasci stated this is a relatively small project in the sense of community solar projects. He stated it will be under 10 acres of land on Kirkville Street in the Town of Manlius. He stated they are proposing to build a 1.6 megawatts AC community solar project. He stated the project has received a special use permit and site plan approvals. He stated the Town Board issued a negative declaration under SEQR. He stated they are requesting exemptions from mortgage recording tax, sales tax and a PILOT for the real property taxes.

Janice Herzog asked if the principles are located in Boulder, Colorado. Robert Panasci stated RPNY is a subsidiary of Renewable Properties. He stated their main office is located in San Francisco and they are an owner operator. He stated they will develop, build and operate. He stated they have a slight presence in New York but their home office is in California.

Janice Herzog stated Wild Cat Renewables is also mentioned on the application and asked how that fits in. Robert Panasci stated Renewable Properties uses Wild Cat as the entity for development so they get leases and use Wild Cat as a subsidiary so they don't have to create an

LLC until they get closer to permitting. He stated they don't want to waste the money in resources putting up a new LLC so they use an intermediary but they are all under the control of Renewable Properties.

Janice Herzog stated the Board minutes from the Town of Manlius mentions the main company will retain ownership and not sell it like a lot of solar projects have been doing. Robert Panasci stated that is correct. He stated the intent is not to sell but things could change in the future and if they did, they would have to go back to the IDA Board and the Town of Manlius for approval.

Steve Morgan asked how many construction jobs are going to be derived from this project and over a period of how long. Robert Panasci stated about 20-40 jobs created during the construction period for about 6 months.

Victor Ianno asked how many jobs once it is completed. Robert Panasci stated there is going to be lawn mowing and maintenance so once completed you are typically looking at .4 FTE.

Patrick Hogan asked if there is a change of ownership they must come back before this Board. Jeff Davis stated yes.

Nancy Lowery stated there were no comments at the public hearing.

Jeff Davis stated from a SEQR standpoint this project received a SEQR Negative Declaration from the Town of Manlius Planning Board. He stated there has been no change in the project in terms of what was proposed and approved. He stated the resolution before the Board is accepting and adopting the resolution by the Manlius Planning Board in recognition of the fact that there has been no change in the proposed project. He stated they underwent a full SEQR review at the Town level and that the action before this Board is the request.

Upon a motion by Kevin Ryan, seconded by Susan Stanczyk, the OCIDA Board approved a resolution authorizing adoption of SEQRA negative declaration determination for the RPNY Solar 5, LLC project. Motion was carried.

Upon a motion by Victor Ianno, seconded by Steve Morgan, the OCIDA Board approved a resolution authorizing the financial assistance the Agency will provide to include exemptions

from certain sales and use taxes, real property taxes and mortgage recording taxes. Motion was carried.

SSC CICERO LLC (3101-21-02B) SECOND MEETING

David Spotts stated SSC Cicero LLC is a 5 megawatt ground mounted solar facility. He stated they came before the Board on October 19, 2021 requesting a PILOT agreement which was ultimately approved. He stated today they are requesting the Board approve a change of control from SSC Cicero LLC to GSRP Development Company X LLC. He stated the majority interest is being sold to Goldman Sachs Renewable portfolio.

Samantha Podlas stated this is similar to what we have done before and it is just coming before the Board before the straight lease transaction closes rather than after. She stated all the documentation has been reviewed.

Jeff Davis stated they are requesting a change before closing so normally it is closed beforehand. He stated the documents state there is a requirement if there is going to be a change in ownership they come back before the Board. He stated in this case they already know what the change in ownership is going to be. He stated they are requesting approval to modify and extend to the new owner. He stated it is going into the Goldman Sachs portfolio. He stated it is a change in ownership pre-closing versus post-closing.

Patrick Hogan asked if they have gone before the Town Board. Jeff Davis stated they were fully approved.

Robert Petrovich stated approvals were granted and a public hearing was held based on one entity and asked where we are in the continuing relative to this. He stated it strikes him as peculiar.

Patrick Hogan stated they were fully approved but this is a whole different entity that is managing this. He stated the Town Board obviously met with these people and now they are handing off the portfolio to Goldman Sachs.

Jeff Davis stated he is sure there is a transfer and ownership provision. He stated SSC Cicero LLC is still going to be the entity that received the permit. He stated we did a public hearing with SSC Cicero LLC and is still going to be the entity the Agency ends up closing with. He stated from our standpoint the entity that the Agency did a notice with is still the entity that we are going to close with. He stated from the Town standpoint he can only assume it is the same thing. He stated they have an ownership approval that they gave to “Entity A” and “Entity A” is still going to receive the special use permit approval.

Patrick Hogan stated they might get involved in managing part of it. Jeff Davis stated they may get involved with the decommissioning bonds and the other items requiring a backing by the entity that is going to construct it.

Janice Herzog stated it is important for people in the community to know which entity is owning and controlling because Goldman Sachs has acquired some of the other Agency solar projects and they are more of a global entity. Jeff Davis stated Goldman Sachs acquired the SSC Lysander project and was approved a couple months ago with a transfer of ownership after closing. He stated the entity that is acquiring SSC Cicero is the same entity that acquired SSC Lysander.

Janice Herzog stated a bigger question is we have a lot of these solar companies that have been bought off and a lot of them may funnel up to the same people. She asked if all the solar projects end up in the same spot.

Nancy Lowery stated she received a call from the Town of Cicero, they had gone on our website and saw this was occurring so she thinks they are monitoring this as well. She stated she thinks this is their first awareness of a transfer in ownership. She stated she is not sure how that effects Jeff Davis’s point and she is not sure they really understood.

David Spotts stated to bring some clarity to the discussion, John Switzer and himself are owners of SSC Cicero, LLC and will continue to be the owners of the land for the life of the project. He stated they had come before the Town Board as developers of the project and will remain to be in contact with the Town as the owners of the land for the life of the entity. He stated in addition the Town has accepted a decommissioning bond directly from Goldman Sachs. He stated the decommission has already been posted by GSRP.

Robert Petrovich asked if SSC came before the Board with a project in Lysander. David Spotts stated yes. Susan Stanczyk stated in the notes provided it says March 10, 2021 is when they closed. Nancy Lowery stated the project is closed.

David Spotts stated it is under construction right now and he is also the land owner in Lysander as well. He stated they have been in touch with the Town of Lysander regarding the project.

Patrick Hogan asked David Spotts if he will continue to manage the facility. David Spotts stated they are not involved with management or operation of the facility. He stated they own the land so they monitor what would impact them as a land owner like vegetation and storm water.

Janice Herzog asked if the operation, profits or anything of that nature would be handled and received by Goldman Sachs. David Spotts stated yes.

Jeff Davis asked if they are still going to close under the entity names SSC Cicero, LLC. David Spotts stated yes.

Robert Petrovich asked if they are going to close with the Town under the name of SSC Cicero, LLC and pull their permit under that entity. David Spotts stated yes.

Jeff Davis asked if they want to close with the IDA before they close on the property. David Spotts stated yes.

Jeff Davis stated normally the land has already been acquired before the closing with the IDA. He stated in this case SSC Cicero is requesting closing in advance of acquiring the land. He stated they will close with the IDA, pay the IDA fee, have everything there and then if they don't close on the land, the deal goes away with IDA. He stated they want to close in the next week on this transaction and we are prepared to do that. He stated the closing they requested is in advance of them closing on the property.

Robert Petrovich asked if there is a specific reason for that. Jeff Davis stated he thinks it is the timing of when the closing is set up for the property. He stated he also believes this closing with OCIDA gets them the benefits they likely need to close and do the things they need on the

backend. He stated they need to show things are in place to move things forward. He stated there is a little bit of risk on their end and really no risk on the Agency end. He stated worst case scenario for them is the deal doesn't happen, they have already closed with the IDA, they paid the IDA fee and they don't receive any benefits. He stated the IDA fee is not refundable.

Kevin Ryan stated we have the arrangement with SSC but if they choose to convey interest to Goldman Sachs that is a business decision they are making and asked what the Agency's concern is. He stated they have already done this in Lysander and asked if there is a concern with the way the Lysander project played out. He stated he does not see what the downside is to us.

Robert Petrovich stated we are just trying to get a better understanding of what is going on.

Jeff Davis stated we have seen this with other solar and we are going to see it with most solar. He stated RPNY Solar's intent is to own, construct and operate. He stated most solar in New York, especially community solar which is small scale, are going through change in ownership as they either start construction or just after construction. He stated what you are seeing in the industry is large entities that want to have solar in their portfolio because their clients demand it and acquiring a series of community solar allows you to acquire a lot of megawatts. He stated solar in New York is a big push right now. He stated a lot of companies get permits and approvals and then sell that asset to somebody that can construct, operate and own it.

Patrick Hogan stated his concern is the local town having to deal with out of state and sometimes out of country entities managing the property that they have not met before. Jeff Davis stated none of the solar entities we have been talking to are local. He stated they are all LLCs that have been created in New York.

Patrick Hogan stated it is an infant industry and we don't know down the road what kind of management problems there might be. He stated this seems like a red flag to him.

Kevin Ryan stated from his perspective he feels more comfortable dealing with an entity like Goldman Sachs which is one of the gold standards in its industry, as opposed to a single purpose LLC whose sole purpose is to operate one LLC or in this case two solar farms in our community. He stated if that goes sideways they are not going to have the resources to keep the project afloat where Goldman Sachs does. He stated he feels more comfortable with it that way.

Janice Herzog stated that is a good point Mr. Ryan made but there is also the community side of it. She asked is a community impacted by a global owner who may not have a vested interest in the community other than solar power. She stated we keep being presented with these projects and maybe we can request transparency in the companies. Jeff Davis stated in the application they have to provide and identify the ownership breakdown of the applicant entity and if there is ever a change in ownership with any project that comes before this Board, it needs to come back for approval. He stated it is not just solar, it is everybody.

Janice Herzog asked who is RPNY's parent company is and how does it work its way up. She stated we typically see the next rung in the ladder but we don't see it all the way up. She stated it would be helpful to have more transparency in where these companies are funneling to.

Steve Morgan asked if we are overstepping our boundaries saying we can't approve a project because we don't like who they are going to sell the company to. He asked if it is any of our business and who are we to tell them that. Jeff Davis stated the roll in this process is to do due diligence to determine whether the entity that you are going to provide the benefits to is an appropriate entity to provide benefits to. He stated is it registered to do business in the State of New York, are there any issues with litigation and those types of things. He stated so the answer is yes and beyond that we basically make sure the entity is a valid existing entity in New York and an appropriate entity to do business. He stated beyond that if they want to go through 14 different corporate ownership changes in the life of a PILOT and come before the Board every time they want to do that and explain why, then he thinks we are getting a little bit into their corporate business structure.

Robert Petrovich stated the only thing different about this is that they are coming to us pre closing. Jeff Davis agreed.

Kevin Ryan stated the Agency is the one granting the benefits or not granting the benefits and the question is whether we as an entity want to be doing this. He asked are we going to send the signal that we are going to look at every transaction a project makes in terms of their internal business structure with a magnifying glass. He stated he doesn't know what the downside is to dealing with Goldman Sachs versus SSC solar.

Patrick Hogan stated he wants to make sure on behalf of the residents of Onondaga County that every one of these projects is a project that we can be proud of down the road. He stated in regards to Goldman Sachs, he doesn't know if a Cicero Town Board member can call Goldman Sachs because of a trash pile on the property to be taken care of in an efficient manner.

Jeff Davis stated the town's recourse would be to threaten to pull the special use permit for the project and bring them in as a violation of their special use permit at which point anybody who has invested in this can decide whether they want to risk the threat of losing their permit and investment or coming in before the Board to do something. He stated in this case Goldman Sachs is the entity that has put up the decommissioning bond. He stated if the town wants to remove it then they can utilize the decommissioning bonds and not use their own money to take it down and restore the land back to what it was. He stated all the decommissioning bonds put in place are sized through engineering estimates as to what the cost would be for removal of the facility after the life of the facility. He stated that if it has been provided to the town and if that is in place then the protection is that. He stated if any of these entities go belly up they can be removed. He stated we don't have a decommissioning bond in normal projects but decommissioning bonds have become the main stay for solar facilities.

Robert Petrovich asked if we can cancel the PILOT. Jeff Davis stated if there is an issue with payment of the PILOT or violation under our agreements we can cancel the benefits.

Janice Herzog stated she thinks if we had a better understanding it would be easier. She stated these are not like a company setting up a manufacturing facility here, this is a different animal. She stated this is new in terms of development here and it is good have a better understanding of how this impacts our community with different ownerships.

Upon a motion by Kevin Ryan, seconded by Steve Morgan, the OCIDA Board approved a resolution consenting to the sale of membership interest of a project applicant. Motion was carried.

COR INNER HARBOR COMPANY, LLC (3101-15-14A)

(Steve Morgan left meeting)

Catherine Johnson stated COR Inner Harbor is seeking a one year extension on sales tax exemption for the Iron Pier project which is a mixed use building in the Inner Harbor with 112 market rate apartments as well as 37,000 square feet of commercial on the first floor. She stated they have been very successful with the apartments with over 95% occupied. She stated they continue to work on the commercial and that is the reason why they are asking for the extension. She stated the extension is to continue the build outs for new tenants. She stated they have two tenants right now comprised of 6,000 square feet. She stated they have been successful in attracting Meier's Creek occupying 4,000 square feet which is under construction and hope to be open the end of this year. She stated that is a nice positive for this space which spurred on an increase in interest in the commercial space. She stated they have 3 leases under negotiation right now which would amount to about 7,500 square feet. She stated they are making progress on the commercial space as the inner harbor develops and if the aquarium goes forward that obviously is going to increase the tenant interest and development there. She stated they have not reached their sales tax exemption cap which is just over \$2,400,000 and have taken advantage of about \$1,000,000 of that.

Patrick Hogan stated he is happy Meier's got through the onerous planning process of the City of Syracuse to go in there. He stated it is good to see the progress being made and sales and use tax doesn't come into play unless you are actually building something so he is in favor of this.

Upon a motion by Janice Herzog, seconded by Susan Stanczyk, the OCIDA Board approved a resolution authorizing the extension of the sales and use tax exemption for COR Van Rensselaer Street Company II, LLC and COR Van Rensselaer Street Company III, Inc. (COR Inner Harbor Company, LLC Sub Project 1). Motion was carried.

EXECUTIVE SESSION

Jeff Davis stated his recommendation is to vote to go into executive session to discuss the potential acquisition of lands and contracts.

Upon a motion by Janice Herzog, seconded by Susan Stanczyk, the OCIDA Board went into Executive Session at 8:50 am to discuss the potential acquisition of lands and contracts. Motion was carried.

Upon a motion by Susan Stanczyk, seconded by Janice Herzog, the OCIDA Board adjourned Executive Session at 9:02 am. Motion was carried.

PURCHASE CONTRACT EXECUTION

Jeff Davis stated the motion on the table is a SEQR resolution. He read through the pertinent SEQR parts.

Upon a motion by Janice Herzog, seconded by Victor Ianno, the OCIDA Board approved a resolution authorizing the adoption of SEQR determination. Motion was carried.

Upon a motion by Janice Herzog, seconded by Victor Ianno, the OCIDA Board approved a resolution authorizing the Executive Director to enter into purchase contracts and any related documents with respect to a parcel of property. Motion was carried.

Upon a motion by Susan Stanczyk, seconded by Janice Herzog, the OCIDA Board adjourned the meeting at 9:52 am. Motion was carried.

Nancy Lowery, Secretary



ONONDAGA COUNTY INDUSTRIAL DEVELOPMENT AGENCY
 333 WASHINGTON STREET, SUITE 130, SYRACUSE, NY 13202
 PHONE: 315.435.3770 • FAX: 315.435.3669

November 30, 2021

Revenue / Expense / Income	Current Period	Current YTD	2021 Budget Amount	Current YTD Change to Budget
Operating Revenue	167,075	1,797,702	1,646,000	151,702
Administrative Expense	81,382	514,605	1,008,000	(493,395)
Operating/Program Exp.	162,831	929,070	638,000	291,070
Net Ordinary Income	(77,138)	354,027	-	354,027

Current Assets	Current YTD	Prior YTD
Total Cash	2,931,553	4,900,866
Less Pass Through Received	2,910	-
Available Cash	2,928,643	4,900,866
Receivables (less pass through rec.)	236,524	949,024
Grant Reimbursements	-	-
Total	3,165,167	5,849,890

Reserve for Contracts	
County Operations 2021	493,395
333 W. Washington St 2021 Rent	21,424
OBG WPCP CO #4 Additional Studies	193,233
JMT 800 Hiawatha Engineering	10,234
Barclay Damon WPCP Options	-
Total	718,285

Receivables	
0-120 days	14,000
> 120 days	222,024
Total	236,024

Onondaga County Industrial Development Agency

Profit and Loss

November 2021

	TOTAL
Income	
500 Operating Revenue	
2410 Lease Income	1,500.00
2655 Other Operating Revenue	165,551.52
Total 500 Operating Revenue	167,051.52
501 Non-Operating Revenue	
2401 Interest Income	23.90
Total 501 Non-Operating Revenue	23.90
534 Pilot & Pass Thru Revenue	
528 Pass thru Income	2,910.00
529 PILOT Income	2,529.36
Total 534 Pilot & Pass Thru Revenue	5,439.36
Total Income	\$172,514.78
GROSS PROFIT	\$172,514.78
Expenses	
6400 Operating Expense	
6406 Other Professional Services	
6406.50 Consulting Services	2,500.00
Total 6406 Other Professional Services	2,500.00
6407 Administrative Expense	81,382.44
6408 Meeting Expenses	59.81
6409 Conference Attendance	1,318.34
6410 Office Expense	772.67
6411 Memberships / Sponsorships	1,010.00
Total 6400 Operating Expense	87,043.26
6440 Legal Fees	
6450 Barclay Damon	
6460 IDA General Legal	2,250.00
Total 6450 Barclay Damon	2,250.00
Total 6440 Legal Fees	2,250.00
6500 Agency Program Expenses	
6510 White Pine Commerce Park	
6510.2 Site Analysis	143,623.30
6510.4 Other Expenses	4,900.00
6510.6 Taxes/SDC	2,018.22
6510.7 WPCP Marketing	2,350.96
6511 WPCP Closing Costs	2,027.50
Total 6510 White Pine Commerce Park	154,919.98
Total 6500 Agency Program Expenses	154,919.98

Onondaga County Industrial Development Agency

Profit and Loss

November 2021

	TOTAL
6600 Non-Operating Expenses	
6605 Pilot & Pass Thru Expenses	
6605.1 Pass thru Expense	2,910.00
6605.2 PILOT Expense	2,529.36
Total 6605 Pilot & Pass Thru Expenses	5,439.36
Total 6600 Non-Operating Expenses	5,439.36
Total Expenses	\$249,652.60
NET OPERATING INCOME	\$ -77,137.82
Other Income	
999.99 ROUNDING	0.01
Total Other Income	\$0.01
NET OTHER INCOME	\$0.01
NET INCOME	\$ -77,137.81

Onondaga County Industrial Development Agency

Balance Sheet

As of November 30, 2021

	TOTAL
ASSETS	
Current Assets	
Bank Accounts	
200 Cash	0.00
200.1 Cash - M & T Checking	2,050,058.06
200.2 Cash - M & T Money Maker Savings	890,402.74
200.4 Destiny USA Restricted Cash	-8,957.82
210 Petty Cash	50.00
Total 200 Cash	2,931,552.98
Total Bank Accounts	\$2,931,552.98
Accounts Receivable	
380 Accounts Rec.	
380.6 A/R Fees, Lease & PILOT	14,000.00
Total 380 Accounts Rec.	14,000.00
Total Accounts Receivable	\$14,000.00
Other Current Assets	
391 Long Tern Receivable	222,024.00
Total Other Current Assets	\$222,024.00
Total Current Assets	\$3,167,576.98

Onondaga County Industrial Development Agency

Balance Sheet As of November 30, 2021

	TOTAL
Fixed Assets	
100 Land	
101 White Pines Commerce Park	5,305,401.50
101.1 WPCP GEIS	
101.101 CHA GEIS 1	267,452.05
101.102 CHA GEIS 2	219,439.36
101.104 GEIS Reg Plan Board Overview	19,797.74
Total 101.1 WPCP GEIS	506,689.15
101.2 WPCP Legal	69,774.25
101.3 Engineering Services	52,675.00
101.301 Temporary Access	4,055.44
101.4 Environmental/Demo Services	10,318.98
Total 101.3 Engineering Services	67,049.42
101.5 Land Acquisition Costs	
101.501 Land Purchases	1,160,063.57
101.502 Closing Costs	3,168.14
Total 101.5 Land Acquisition Costs	1,163,231.71
Total 101 White Pines Commerce Park	7,112,146.03
106 North Salina Properties	0.00
106.1 435 North Salina	17,083.55
106.3 435 North Salina Building	634,421.53
Total 106 North Salina Properties	651,505.08
107 800 Hiawatha	604,840.42
Total 100 Land	8,368,491.53
104 Machinery & Equipment	
104.1 Office Furniture	1,429.00
104.2 Equipment	4,588.00
Total 104 Machinery & Equipment	6,017.00
211 A/D Office Furniture	-2,862.00
213 A/D Buildings	-81,335.00
Total Fixed Assets	\$8,290,311.53
Other Assets	
240 Blue Sky Redevelopment	1,641.76
Total Other Assets	\$1,641.76
TOTAL ASSETS	\$11,459,530.27

Onondaga County Industrial Development Agency

Balance Sheet

As of November 30, 2021

	TOTAL
LIABILITIES AND EQUITY	
Liabilities	
Current Liabilities	
Other Current Liabilities	
600 Accounts Payable	0.00
600.1 Due to Related Party - OED	514,605.07
600.206 Mileage Reimbursement	92.34
600.208 BlueRock Energy Agreement Deposit	25,000.00
600.209 Syracuse Rail Overpayment	500.00
600.3 Onondaga County Loan	1,033,770.18
Total 600 Accounts Payable	1,573,967.59
601 PILOT and Pass Thru Payable	
602 Pass Thru Payable	2,910.00
603 PILOT Pass Thru	0.01
604 Other Pass Thrus	74,063.70
Total 601 PILOT and Pass Thru Payable	76,973.71
Total Other Current Liabilities	\$1,650,941.30
Total Current Liabilities	\$1,650,941.30
Total Liabilities	\$1,650,941.30
Equity	
3900 Equity Unreserved	6,735,894.07
3901 Equity-Investment Fixed Assets	2,345,838.63
463 Reserve For Contracts	718,285.48
465 Equity - Unreserved	-345,456.48
Net Income	354,027.27
Total Equity	\$9,808,588.97
TOTAL LIABILITIES AND EQUITY	\$11,459,530.27

ONONDAGA COUNTY INDUSTRIAL DEVELOPMENT AGENCY
PAYMENT OF BILL - SCHEDULE #463
November 9, 2021

GENERAL EXPENSES

1.	<u>KAREN DOSTER*</u>	\$	5.50
	Reimbursement for Meeting Expenses		
2.	<u>BARCLAY DAMON LLP**</u>	\$	454,045.72
	Land Purchase		
3.	<u>BARCLAY DAMON LLP</u>	\$	3,337.50
	Inv#5149616 & 5144043, General Legal thru 10-31-21 & Roth thru 7-31-21		
4.	<u>PARK STRATEGIES, LLC</u>	\$	5,000.00
	Inv#16585523 & 16585679 Nov & Dec 2021 Consulting		
5.	<u>ADVANCE MEDIA NEW YORK</u>	\$	536.24
	Public Hearing Notices; Ultra Dairy, Taft Solar, RPNY 5 & NYCANNA		
6.	<u>CNY BUSINESS JOURNAL</u>	\$	79.00
	Inv#482604-R3, Online Subscription		
7.	<u>REBECCA SHIROFF</u>	\$	<u>30.23</u>
	Reimbursement for Meeting Expenses		
TOTAL		\$	463,034.19

* Ratification of Check dated November 16, 2021

** Ratification of Check dated November 17, 2021

ONONDAGA COUNTY INDUSTRIAL DEVELOPMENT AGENCY
PAYMENT OF BILL - SCHEDULE #462
October 19, 2021

PILOT Payments

1.	<u>NYS&W RAILWAY CORP.</u>	\$	2,910.00
	Lamar Billboard Pass thru Payment		
2.	<u>ONONDAGA COUNTY*</u>	\$	945.89
	3rd Quarter 2021 Syracuse Rail PILOT Payment		
3.	<u>TOWN OF DEWITT*</u>	\$	14.50
	3rd Quarter 2021 Syracuse Rail PILOT Payment		
4.	<u>TOWN OF ONONDAGA*</u>	\$	2.92
	3rd Quarter 2021 Syracuse Rail PILOT Payment		
5.	<u>JAMESVILLE DEWITT CSD*</u>	\$	94.89
	3rd Quarter 2021 Syracuse Rail PILOT Payment		
6.	<u>CITY OF SYRACUSE*</u>	\$	<u>1,471.13</u>
	3rd Quarter 2021 Syracuse Rail PILOT Payment		
TOTAL		\$	5,439.33

*Ratification of Checks dated November 9, 2021

**ONONDAGA COUNTY INDUSTRIAL DEVELOPMENT AGENCY
RESERVE FOR CONTRACTS
11/30/2021**

	CONTRACT	TOTAL	PORTION	BALANCE
DESCRIPTION	TERM	CONTRACT	PAID	OUTSTANDING
ONONDAGA COUNTY OED 2021	1-1-21-12-31-21	\$1,008,000.00	\$514,605.07	\$493,394.93
333 W. WASHINGTON ST 2021 RENT	1-1-21-12-31-21	\$65,000.00	\$43,576.10	\$21,423.90
OBG WPCP CO #4 ADDITIONAL STUDIES	11-30-18-12-31-21	\$800,000.00	\$606,767.25	\$193,232.75
JMT 800 HIAWATHA ENGINEERING	2/13/19-12-31-21	\$25,000.00	\$14,766.10	\$10,233.90
BARCLAY DAMON WPCP OPTIONS	11/30/20-12-31-21	\$200,000.00	\$200,000.00	\$0.00
		\$2,098,000.00	\$1,379,714.52	\$718,285.48

**ACCOUNTS RECEIVABLE
11/30/2021**

AGENCY FEES RECEIVABLE		\$14,000.00
ACCOUNTS RECEIVABLE GENERAL		\$0.00
QUASI-EQUITY LOAN RECEIVABLE		\$0.00
GRANTS RECEIVABLE		\$0.00
LONG TERM RECEIVABLE		\$222,024.00
TOTAL		\$236,024.00

Onondaga County Industrial Development Agency DRAFT



Project Summary

12/8/2021

1. Project	Dunn Tire, Inc/Stewart Hancock Partners, LLC	2. Project Number	3101-21-12A
3. Location	Cicero	4. School District	North Syracuse
		6. Project Type	Expansion
5. Tax Parcel(s)	057.-02-29.4	Village	-

7.Total Project Cost	\$	5,870,030	8. Total Jobs	50
Land	\$	300,330	8A. Job Retention	39
Site Work	\$	100,000	8B: Job Creation	11
Building	\$	4,560,000	(Next 5 Years)	
Furniture & Fixtures	\$	50,000		
Equipment	\$	-		
Equipment Subject to NYS Production Exemption	\$	-		
Engineering/Architecture Fees	\$	30,000		
Financial Charges	\$	200,000		
Legal Fees	\$	10,000		
Other				

Cost Benefit Analysis

Dunn Tire, Inc/Stewart Hancock Partners, LLC
Fiscal Impact (\$)

Estimated Abatement Cost	\$572,325
Sales Tax Abatement	\$250,000
Mortgage Recording Tax Abatement	\$37,425
Real Property Tax Relief	\$284,900
New Investment	\$33,536,533
PILOT Payments	\$362,303
Project Wages (10 years)	\$22,740,360
Construction Wages	\$1,305,900
Employee Benefits (10 years)	\$4,093,265
Project Capital Investment	\$4,960,330
Agency Fees	\$74,375

Project Description

Construct a 62,500 square foot building in the Town of Cicero

Benefit:Cost Ratio **58.60 :1**

Dunn Tire, LLC/Stewart Hancock Partners, LLC DRAFT

12/8/2021

**A) PILOTS Estimate Table Worksheet
for 10 years**

OCIDA estimate of current market value					\$	300,330
Projected investment					\$	4,560,000
OCIDA estimate of increase in value					\$	1,414,400
OCIDA estimated value after project is completed					\$	1,714,730
Taxes that would have been collected if the project did not occur					\$	113,356
Scheduled PILOT payments					\$	362,303

PILOT YEAR	Exemption %	Onondaga County	Cicero	North Syracuse	-	Total PILOT	Full Tax Payment w/o PILOT	Net Exemption
1	100%	\$ 1,582	\$ 1,591	\$ 7,179	\$ -	\$ 10,352	\$ 59,107	\$ 48,754
2	90%	\$ 2,373	\$ 2,388	\$ 10,772	\$ -	\$ 15,532	\$ 60,289	\$ 44,757
3	80%	\$ 3,196	\$ 3,215	\$ 14,505	\$ -	\$ 20,915	\$ 61,495	\$ 40,579
4	70%	\$ 4,050	\$ 4,075	\$ 18,383	\$ -	\$ 26,508	\$ 62,725	\$ 36,217
5	60%	\$ 4,937	\$ 4,967	\$ 22,410	\$ -	\$ 32,315	\$ 63,979	\$ 31,664
6	50%	\$ 5,858	\$ 5,894	\$ 26,592	\$ -	\$ 38,344	\$ 65,259	\$ 26,914
7	40%	\$ 6,814	\$ 6,856	\$ 30,931	\$ -	\$ 44,602	\$ 66,564	\$ 21,962
8	30%	\$ 7,806	\$ 7,854	\$ 35,434	\$ -	\$ 51,094	\$ 67,895	\$ 16,801
9	20%	\$ 8,835	\$ 8,889	\$ 40,104	\$ -	\$ 57,828	\$ 69,253	\$ 11,425
10	10%	\$ 9,902	\$ 9,963	\$ 44,947	\$ -	\$ 64,811	\$ 70,638	\$ 5,827
TOTAL		\$ 55,354	\$ 55,693	\$ 251,256	\$ -	\$ 362,303	\$ 647,203	\$ 284,900

	Year					
	0	1	2	3	4	5
Jobs						
Current/Actuals	39					
Creation Goals		6	3	2		
Total Employment Goals	39	45	48	50	50	50



**ONONDAGA COUNTY INDUSTRIAL DEVELOPMENT AGENCY
APPLICATION FOR BENEFITS**

1. Fill in all blanks using "none", "not applicable" or "not available". If you have any questions about the way to respond, please call the Onondaga County Industrial Development Agency at 315-435-3770.
2. If providing an estimate put "(est.)" after the figure or answer. If more space is needed to answer any specific question, attach a separate sheet.
3. If the OCIDA Board approves benefits, it is the company's responsibility to obtain and submit all necessary forms and documents. (ST-60, PILOT Agreement)
4. When completed, return this Application by mail or fax to the Agency at the address indicated below. A signed application may also be submitted electronically in PDF format to Nate Stevens at nstevens@ongov.net. **An Application will not be considered by the Agency until the Application fee has been received.**
5. The Agency will not give final approval for this Application until the Agency receives a completed NYS Full Environmental Assessment Form concerning the Project, which is the subject of this Application. The form is available at <http://www.dec.ny.gov/permits/6191.html>.
6. Please note the Public Officers Law declares all records in the possession of the OCIDA (with certain limited exceptions) are open to public inspection and copying. If the Applicant is of the opinion that there are elements of the Project which are in the nature of trade secrets which, if disclosed to the public or otherwise widely disseminated, would cause substantial injury to the Applicant's competitive position, this Applicant must identify such elements in writing and request that such elements be kept confidential. In accordance with Article 6 of the Public Officer's Law, the OCIDA may also redact personal, private, and/or proprietary information from publicly disseminated documents.
7. The Applicant will be required to pay the Agency Application fee and, if accepted as a project of the agency, all administrative and legal fees as stated in Section VI of the Application.
8. A complete application consists of the following 9 items:
 - This Application ✓
 - Local Access Agreement ✓
 - Employment Plan
 - Conflict of Interest ✓
 - A feasibility statement indicating the need for the requested benefits
 - Description of project, Site Plans/Sketches, and Maps
 - NYS Full Environmental Assessment Form
 - A check payable to the Agency in the amount of \$1,000 ✓
 - A check payable to Barclay Damon LLP in the amount of \$2,500 ✓
9. This Application was adopted by the OCIDA Board on November 19, 2019.

It is the policy of the Agency that any project receiving benefits from the Onondaga County Industrial Development Agency will utilize 100% local contractors and local labor for the construction period of the project unless a waiver is granted in writing by the Agency.

Return to:
Onondaga County Industrial Development Agency
Attn: Nate Stevens
333 W. Washington Street, Suite 130
Syracuse, NY 13202
Phone: 315-435-3770 | Fax: 315-435-3669
nstevens@ongov.net

Section I: Applicant Information

Please answer all questions. Use "None", "Not Applicable" and "See Attached" where necessary.

A) Applicant information-company receiving benefits:

Applicant Name: DUNN TIRE LLC
Applicant Address: 475 CAYUGA RD. BUFFALO, NY 14225
Phone: 716-683-3520 Fax: 716-683-1422
Website: DUNNTIRE.COM E-mail: DAVID.SIMONS@dunntire.com
Federal ID#: 82-0550949 NAICS: 441320
State and Year of Incorporation/Organization: DELAWARE 2002
Will a Real Estate Holding Company be utilized to own the Project property/ facility? ☒ Yes ☐ No
What is the name of the Real Estate Holding Company: STEWART HANCOCK PARTNERS LLC
Federal ID#: 87-1668721
State and Year of Incorporation/Organization: NY 2021
List of stockholders, members, or partners of Real Estate Holding Company:
JOSEPH CATTALANI William Pyrczak

B) Individual Completing Application:

Name: JOSEPH CATTALANI
Title: MANAGING MEMBER
Address: 649 PARK AVE ROCHESTER, NY 14607
Phone: 585-329-4600 Fax: 585-473-3181
E-mail: JEPC@BROCKHURST.COM

C) Company Contact (if different from individual completing application):

Name: _____
Title: _____
Address: _____
Phone: _____ Cell Phone: _____
E-mail: _____

D) Company Counsel:

Name of Attorney: PAUL MARASCO LAW FIRM
Firm Name: MARASCO LAW FIRM
Address: 20 PATRIDGE HILL, HONEOYE FALLS, NY 14472
Phone: 585-414-4455 Cell Phone: SAME
E-mail: PAUL.MARASCO@LAWFIRM.COM

E) Business Organization (check appropriate category):

- ☐ Corporation ☐ Partnership
☐ Public Corporation ☐ Joint Venture
☐ Sole Proprietorship ☒ Limited Liability Company

Others (please specify): _____

Year Established: 2021

State in which Organization is established: NY

F) List all stockholders, members, or partners with % of ownership greater than 5%:

Name	% of ownership
<u>JOE CATTALANO</u>	<u>75%</u>
<u>BILL PYRCZAK</u>	<u>25%</u>
_____	_____
_____	_____

G) Applicant Business Description:

Please attach a description of your company's background, products, customers, goods and services.

Estimated % of sales within Onondaga County: 21%

Estimated % of sales outside Onondaga County but within New York State: 60%

Estimated % of sales outside New York State but within the U.S.: 19%

Estimated % of sales outside the U.S.: - 0 -

(*Percentage to equal 100%)

H) What percentage of your total annual supplies, raw materials and vendor services are purchased from firms in Onondaga County. Include list of vendors, raw material suppliers and percentages for each. Provide supporting documentation including estimated percentages of local purchases. Please attach this information. SEE ATTACHED

I) **Applicant History:** If the answer to any of the following is "Yes", please explain below. If necessary, attach additional information.

1. Is the company or management of the Company now a plaintiff or defendant in any civil or criminal litigation? ☐ Yes ☒ No
2. Has any person listed above ever been convicted of a criminal offense (other than a minor traffic violation)? ☐ Yes ☒ No
3. Has any person listed in Section I ever been in receivership or declared bankruptcy? ☐ Yes ☒ No

Please attach any explanations:

J) Has the Project Beneficiary received assistance from OCIDA, SIDA, New York State or the Onondaga Civic Development Corporation in the past? If yes please attach an explanation and please give year, project name, description of benefits and address of project.

☐ Yes ☒ No

Section II: Project Information

A) Project Location: Location where the investment will take place. If company is moving, the new location should be entered here and the current location should be in Section I.
 Address: 577 STEWART DR SYRACUSE, NY 13212
 Legal Address (if different): 57-02-29.4
 City: SYRACUSE Village/Town: C. CENRO
 Zip Code: 13212 School District: N SYRACUSE
 Tax Map Parcel ID(s): 57-02-29.4
 Current Assessed Value: \$ 147,600 Sq. Footage of Existing Building: 0
 Census Tract: 104

B) Type (Check all that apply):

- | | |
|--|---|
| ☒ New construction | ☐ Purchase of machinery and/or equipment |
| ☐ Expansion/Addition to current facilities | ☐ Brownfield/Remediated Brownfield |
| ☐ Renovation of existing facility | ☐ LEED Certification |
| ☐ Acquisition of existing facility/property | ☐ Other: |
| ☐ Demolition and Construction | |

C) Please attach a summary of how this project will help your business grow. Will it set the company up for revenue growth? Will it mitigate cost? Will it provide more flexibility?

SEE ATTACHED

D) Description of Project: Please provide a detailed narrative of the proposed Project. This narrative should include, but is not limited to:

- ☐ (i) the size of the Project in square feet and a breakdown of square footage per each intended use;
- ☐ (ii) the size of the lot upon which the Project sits or is to be constructed;
- ☐ (iii) the current use of the site and the intended use of the site upon completion of the Project;
- ☐ (iv) the principal products to be produced and/or the principal activities that will occur on the Project site; and
- ☐ (v) an indication as to why the Applicant is undertaking the Project and the need for the requested benefits. Please separately attach the description and any copies of site plans, sketches or maps.

PROJECT SUMMARY

TO BUILD A 62,500 SQ FT BUILDING, COMPOSED OF 5,000 SQ FT OF OFFICE AND 57,500 SQ FT OF HIGH BAY WAREHOUSE ON APPROXIMATELY 5 ACRES OF PROPERTY CURRENTLY UNDER CONTRACT, SELLER, ONONDAGA COUNTY, ON STEWART DR. IN THE TOWN OF CICERO BORDERING THE NORTH SIDE OF HANCOCK AIRPORT. THE CURRENT SITE IS VACANT COMMERCIAL GC+ LAND AND AT ITS COMPLETION WILL BE A 62,500 SQ FT TIRE DISTRIBUTION OPERATION. THIS DISTRIBUTES TIRES WHOLESALE TO NEW CAR DEALERS, SERVICE STATIONS AND MOST IN BETWEEN. THE BENEFITS REQUESTED HELP OFFSET HIGHER REAL ESTATE CONSTRUCTION COSTS DUE TO EXTREME PRICE INCREASES IN STEEL AND MOST CONSTRUCTION MATERIALS DUE TO THE SUPPLY CHAIN WORK STOPPAGE FROM THE PANDEMIC.

E) Select Project Type for all end users at Project site (you may check more than one):

**Please check any and all end users as identified below

- | | |
|---|--|
| ☒ Industrial | ☐ Bank Office |
| ☐ Acquisition of Existing Facility | ☐ Retail |
| ☐ Housing | ☐ Mixed Use |
| ☐ Equipment Purchase | ☐ Facility for Aging |
| ☐ Multi-Tenant | ☐ Civic Facility (not for profit) |
| ☐ Commercial | ☐ Other _____ |

F) For the Agency to consider this Project, please provide the following information:

1. Does the project consist of new construction or expansion or substantial renovation of an existing facility?
☒ Yes ☐ No
2. Will the project create new employment opportunities or retain existing jobs that may otherwise be lost?
☒ Yes ☐ No
3. Does the project beneficiary serve a customer base primarily outside of Onondaga County?
☒ Yes ☐ No *SEE ATTACHED*

G) Will the completion of the Project result in the removal of an industrial or manufacturing plant of the company from one area of the state to another area of the state OR in the abandonment of one or more plants or facilities of the company located within the state? Please explain if you answer "Yes" by attaching a response.

☒ Yes ☐ No *SEE ATTACHED*

H) Please attach a description of any compelling circumstances the Agency should be aware of while reviewing this application.

SEE ATTACHED

I) Environmental Information

1. Please attach the appropriate Environmental Impact Forms to your application. Here is a link to the SEQR forms:

a. <http://www.dec.ny.gov/permits/6191.html>

2. Have any environmental issues been identified on the property?

☐ Yes ☒ No

If yes, please attach an explanation.

Section III: Construction

A) Project Costs and Finances

Description of Costs	Total Budget Amount	% of Total Budget to be Procured in Onondaga County	Total Private Expenditure (should be less than or equal to total budget amount)
Land Acquisition	300,330 ⁰⁰	100%	
Site Work/Demo	100,000 ⁰⁰	100%	
Building Construction & Renovation	4,560,000		
Furniture & Fixtures	50,000	100%	
Equipment	0		
Equipment Subject to NYS Production Sales Tax			
Engineering/Architect	30,000 ⁰⁰	100%	
Financial Charges	200,000 ⁰⁰	0	
Legal	10,000 ⁰⁰	50%	
Other (ENGINEERING, ARCH, DESIGN)	49,700 ⁰⁰	100%	
Management/Developer Fees	470,000	0%	
Total Project Cost			

Note: Do not include OCIDA fees, OCIDA application fees or OCIDA legal fees as part of the Total Project Cost. You may attach a separate chart if needed.

B) TOTAL Capital Costs

\$ 5,870,000⁰⁰

Project refinancing: estimated amount
(for refinancing of existing debt only)

\$ 0

Sources of Funds for Project Costs:

1. Bank Financing
2. Equity (excluding equity that is attributed to grants/tax credits)
3. Tax Exempt Bond Issuance (if applicable)
4. Taxable Bond Issuance (if applicable)

\$ 4,990,000
\$ 880,000
\$ -
\$ -

5. Public Sources (Include sum total of all state and federal grants and tax credits)

\$

-Identify each state and federal grant/credit:

\$

\$

\$

6. Total Sources of Funds for Project Costs

\$ 5,870,000

C) Employment and Payroll Information

*Full Time Equivalent (FTE) is defined as one employee working no less than 40 hours per week or two or more employees together working a total of 40 hours per week.

1. Are there people currently employed at the project site?

☐ Yes

☒ No

If yes, provide number of FTE jobs at the facility: _____

2. Complete the following:

Estimate the number of FTE jobs to be retained as a result of this Project:	39
Estimate the number of construction jobs to be created by this Project:	40
Estimate the average length of construction jobs to be created (months):	9
Current annual payroll at facility:	\$1,630,000
Average annual growth rate of wages:	3%
Please list, if any, benefits that will be available to either full and/or part time employees:	SEE ATTACHED
Average annual benefit paid by the company (\$ or % salary) per FTE job:	18%
Average growth rate of benefit cost:	1%
Amount or percent of wage employees pay for benefits:	10% INCLUDING FICA/MC
Provide an estimate of the number of residents in the Economic Development Region (Onondaga, Madison, Cayuga, Oneida, Oswego, and Cortland Counties) to fill new FTE jobs:	11

D) New Employment Benefits

- i. Complete the following chart indicating the number of FTE jobs presently employed at the Project and the number of FTE jobs that will be created at the Project site at the end of the first, second, third, fourth and fifth years after the Project is completed. Jobs should be listed by title of category (see below), including FTE independent contractors or employees of independent contractors that work at the Project location. Do not include construction workers.
- ii. Feel free to include additional information or a substitute chart if you think additional material would add clarity.

Current & Planned Full Time Occupations (Job Titles)	Salary (Annual or Hourly)	Current Number of FTEs	Estimated Number of FTE Jobs added each year after project				
			Year 1	Year 2	Year 3	Year 4	Year 5
<u>SALES DIRECTOR</u>	<u>100,000</u>	<u>1</u>					
<u>SALES MANAGER</u>	<u>65,000</u>	<u>1</u>		<u>1</u>			
<u>SALES STAFF</u>	<u>40-50,000</u>	<u>9</u>	<u>1</u>	<u>1</u>			
<u>DISTRIBUTION MANAGER</u>	<u>70,000</u>	<u>2</u>					
<u>WAREHOUSE STAFF</u>	<u>15.25/HR</u>	<u>5</u>	<u>2</u>		<u>1</u>		
<u>DRIVER</u>	<u>15/HR</u>	<u>20</u>	<u>2</u>	<u>1</u>	<u>1</u>		
<u>DISPATCHER</u>	<u>50,000</u>	<u>1</u>	<u>1</u>				
Job Creation Subtotal		<u>39</u>	<u>6</u>	<u>3</u>	<u>2</u>		

For purposes of completing the chart, please list the job titles that will be increasing in number. If possible, please attach a brief description that outlines what each job entails.

SEE ATTACHED

If you prefer, you may attach a job chart of your own that outlines the job growth projections regarding the project.

E) Financial Assistance sought (estimated values):

- ☒ Real Property Tax Abatement (PILOT): _____
- ☒ Mortgage Recording Tax Exemption (.75% of amount mortgaged): \$37,425
- ☒ Sales and Use Tax Exemption (4% Local, 4% State): \$250,000
- ☐ Tax Exempt Bond Financing (Amount Requested): _____
- ☐ Taxable Bond Financing (Amount Requested): _____

F) Mortgage Recording Tax Exemption Benefit Calculator: Amount of mortgage that would be subject to mortgage recording tax:

Mortgage Amount (include sum total of construction/permanent/bridge financing):

\$ 4,990,000

Estimated Mortgage Recording Tax Exemption Benefit (product of mortgage amount as indicated above, multiplied by .0075):

\$ 37,425

G) Sales and Use Tax Benefit Calculator: Gross amount of costs for goods and services that are subject to State and local Sales and US tax – said amount to benefit from the Agency's Sales and Use Tax exemption benefit:

\$ 3,125,000

Estimated State and local Sales and Use Tax Benefit (product of 8% multiplied by the figure, above) (This should match the amount in section "E" on this page, this calculation only exists to help you with your estimate):

\$ 250,000

Dunn Tire LLC Application to the Onondaga County Industrial Development Agency

Section I:

G) Company Background, Products, Customers, Goods and Services.

Dunn Tire LLC and its predecessor companies began operating in 1973. Based in Buffalo, NY, the company now operates 26 retail tire and auto service locations in an around the cities of Buffalo (9 stores), Rochester (7), Syracuse (4), Erie (3) and the Southern Tier of NY (3). Through these locations, Dunn Tire sells and installs auto and light truck tires to thousands of retail customers annually, primarily for use on personal vehicles. The company also performs routine repair and maintenance on these vehicles.

The company also operates five distribution centers in Buffalo, Rochester, Syracuse, Erie and Pittsburgh. These locations are used to supply the 26 Dunn Tire retail locations, but more significantly are operated to supply tires to thousands of auto dealerships and independent tire/repair shops throughout upstate NY and western PA, OH and WV. This wholesale division of the company operates under a d.b.a. "Exxpress Tire Delivery".

The company offers tires from 10 of the world's 12 largest tire manufacturers through direct relationships with the tire suppliers. Tires are inventoried for many vehicle fitments so that most customers can be served with in stock merchandise. Tires are received into the warehouses directly from the manufacturers on common carrier tractor trailers. Tires are delivered from the warehouses to our retail locations and wholesale customers via our fleet of over 100 trucks ranging from pickups to "sprinter" vans and 26' box trucks.

The company is privately owned. Its largest investor is our Chairman, Randall Clark who is a Syracuse native. The remaining investors are members of management and other individuals currently based in or native to upstate NY. Annual sales total approximately \$120 million.

Section I:

H) Total Annual Supplies, Raw Materials and Vendor Services from Firms in Onondaga County

As noted above, the majority of our products are manufactured by the world's largest tire suppliers, none of which are based in our geographic region. These products account for 65% of our annual purchases and expenditures. Compensation and benefits to employees account for approximately 20% of total expenditures. The remaining 15% of our costs are for other products for sale, supplies, materials and vendor services. Our use of Onondaga firms to supply these purchases are summarized below:

Auto Parts & Supplies (4%)

- United Auto Supply
- JR Auto Parts
- Roger Burdick (various dealerships)

- Tony's Tires & Wheels, Inc.
- Keystone Automotive Industries

Equipment Repair Services (2%)

- Liftech Equipment Companies, Inc.
- Haun Welding Supply, Inc.
- Instate Garage Door
- Ken's Equipment Services LLC
- Quality Automotive & Transmission, Inc.
- abj Fire Protection Co.
- Bruce Electric, Inc.

Property Management (2%)

- Widewaters Milton Avenue II Company, LLC
- Elvy Realty Company
- Zhong Yang

Advertising/Media (1%)

- Galaxy Media Partners
- Syracuse University
- Mountain Goat Run

Other Services & Products (1%)

- American Food & Vending
- Butler Fence Co., Inc.
- Cutting Edge Glass
- Eastern Security Services
- Lawn Tech
- LoJo Services LLC
- People Systems
- Peterson Plumbing & Heating
- Signature Landscaping & Property Maintenance LLC

Section II:

C) Summary of How This Project Will Help Grow Our Business

In the Central NY area, our wholesale operation has grown significantly over the years. We initially delivered tires within a five-mile radius of our East Syracuse/DeWitt retail location. In 2005, we moved to a 20,000 sf warehouse on Joy Road in East Syracuse. In 2011, we relocated to our current 40,000 sf location on Steelway Blvd, Liverpool. As we have expanded the service area of the business, we have outgrown our current location. From Liverpool, we now ship daily to wholesale customers as far as Ogdensburg, Plattsburgh, Binghamton, Amsterdam and

Geneva. We ship multiple times daily to customers in Onondaga, Oswego, Oneida, Madison, Cortland and Cayuga counties.

The planned ^{62,500}~~65,000~~ sf location on Stewart Drive will allow the business to continue to grow, as well as, to operate more efficiently with additional truck docks, and expanded product storage and staging space. The site selected will also accommodate an expansion to 100,000 sf, ensuring our ability to remain in Syracuse for the long-term. The cost to lease the new facility is expected to be approximately three times the cost of our current facility. While we plan to be more efficient in the new building, personnel costs are expected to increase by 10% - 20% through additional staff and increased compensation to accomplish increased daily business volume.

Section II:

F 3.) Does the Project Beneficiary Serve a Customer Base Primarily Outside of Onondaga County?

Yes, 80% of the wholesale customers to be served from the new distribution center are from the counties and areas of NY referenced in Section II C above.

Section II:

G) Will the completion of the Project result in the abandonment of another facility in NY?

Yes, we will close our current distribution center on Steelway Blvd in Liverpool. Given the shortage of good quality, moderate cost, sprinklered warehousing space in the county, we would not expect the facility to remain vacant for an extended period.

Section II:

H) Compelling circumstances for the Agency.

Since a significant portion of the wholesale customer base served from Liverpool is located outside of Onondaga County, we could locate this distribution center anywhere with efficient access to both Interstates 90 and 81. However, our preference is to remain in Onondaga County where the majority of our talented and dedicated staff reside.

The lease on our Liverpool location expires on August 31, 2022, so we need to finalize our expansion location and begin construction as soon as is feasible.

Section III:

C 2.) Please list benefits that will be available to either full and/or part time employees:

- Holidays
- Vacations

- Health Insurance
- Health Savings Account
- Dental Insurance
- Social Security
- 401k Retirement Plan
- Short-term Disability Insurance
- Workers' Compensation Insurance
- Bereavement Compensation
- Military Leave
- Disability Leave
- Family & Medical Leave Act and NY Paid Family Leave
- Professional Development
- Employee Discounts
- Flexible Spending Account
- Domestic Partner Benefits
- Crime Victim Leave
- Voting Leave
- Paid Sick Leave

Section III:

D) Summary Job Descriptions:

- **Sales Director** – Lead the wholesale sales efforts of the Central NY region including Rochester, Syracuse and all points north, south and east.
- **Sales Manager** – Lead the wholesale sales efforts of the Syracuse area, including supervision of the sales staff.
- **Sales Staff** – Conduct sales activity through field sales and phone sales to a customer base of approximately 1,000 wholesale customers.
- **Distribution Manager** – Lead the distribution efforts from the Syracuse warehouse to the Dunn Tire retail stores and wholesale customer base, including supervision of all warehouse staff, drivers and dispatchers. Coordination of all in-bound shipments.
- **Dispatcher** – Coordinate and orchestrate daily out-bound deliveries.
- **Warehouse Staff** – Receive and store all in-bound products. Retrieve and stage all out-bound product requests. Housekeeping, product organization and safe operations.
- **Driver** – Conduct the safe and accurate daily delivery of products to Dunn Tire retail locations and wholesale customer locations.



David P. Simons

President

July 19, 2021

Section IV: Estimate of Real Property Tax Abatement Benefits

Section IV of this Application will be: (i) completed by IDA Staff based upon information contained within the Application, and (ii) provided to the Applicant for ultimate inclusion as part of this completed Application prior to the completed application being provided to the OCIDA Board.

A) PILOTS Estimate Table Worksheet

OCIDA estimate of current value	
New construction and renovation costs	
OCIDA estimate of increase in value	
OCIDA estimated value of completed project	
OCIDA estimate of taxes that would have been collected if the project did not occur	
Scheduled PILOT payments	

PILOT Year	Exemption %	County PILOT Amount	Local PILOT Amount	School PILOT Amount	Total PILOT	Full Tax Payment w/o PILOT	Net Exemption
1	100						
2	90						
3	80						
4	70						
5	60						
6	50						
7	40						
8	30						
9	20						
10	10						
TOTAL							

Estimates provided are based on current property tax rates and assessment value (current as of date of application submission) and have been calculated by IDA staff

Section V: Local Access Policy Agreement

In absence of a waiver permitting otherwise, every project seeking the assistance of the Onondaga County Industrial Development Agency (Agency) must use local general contractors, sub-contractors, and labor for one-hundred percent (100%) of the construction of new, expanded, or renovated facilities. The project's construction or project manager need not be a local company.

Noncompliance may result in the revocation and/or recapture of all benefits extended to the project by the Agency. Local Labor is defined as laborers permanently residing in the State of New York counties of Cayuga, Cortland, Herkimer, Jefferson, Madison, Oneida, Onondaga, Oswego, Tompkins, and Wayne. Local (General/Sub) Contractor is defined as a contractor operating a permanent office in the State of New York counties of Cayuga, Cortland, Herkimer, Jefferson, Madison, Oneida, Onondaga, Oswego, Tompkins and Wayne. The Agency may determine on a case-by-case basis to waive the Local Access Policy for a project or for a portion of a project where consideration of warranty issues, necessity of specialized skills, significant cost differentials between local and non-local services or other compelling circumstances exist. The procedure to address a local labor waiver can be found in the OCIDA handbook, which is available upon request.

Prior to issuance of any NYS Tax & Finance ST-60 forms, the Applicant must submit a Contractor Status Report to the Agency.

In consideration of the extension of financial assistance by the Agency STEWART HANCOCK PARTNERS LLC (the Company) understands the Local Access Policy and agrees to complete Appendix C of the Agency's application at the time of the application to the Agency and as part of a request to extend the valid date of the Agency's tax-exempt certificate for the Project. The Company understands that an Agency tax-exempt certificate is typically valid for 12 months from the effective date of the project inducement and extended thereafter upon request by the Company. The Company further understands that any request for a waiver to this policy must be submitted in writing and approved by the Agency.

I agree to the conditions of this agreement and certify all information provided regarding the construction and employment activities for the project as of 7-8-21 (date).

Company: STEWART HANCOCK PARTNERS LLC
Representative for Contract: JOE CATTALANI
Address: 649 PARK AVE City: ROCHESTER State: NY Zip: 14607
Phone: 585-329-4601 Email: JOE.CATTALANI.COM
Project Address: STEWART DR. City: CICERO/SYR State: NY Zip: 13212
57-02-29.4
General Contractor: Building Innovation Group Inc
Contact Person: Steve Holmes
Address: 107 Lincoln Parkway City: East Rochester State: NY Zip: 14445
Phone: 585-606-6710 Email: Shelma@buildinggroup.com
Authorized Representative: Steve Holmes Title: President
Signature: [Signature] [Signature] [Signature]

Section VI: Agency Fee Schedule

Payment Terms:

Application & Processing Fee (payable at the time of application):	\$1,000
Legal Deposit (payable at the time of application):	\$2,500
Agency Fee for Bond Projects:	Payable at Closing
Agency and Legal Fees for all other projects:	Due and Payable at Inducement

*** A sales tax certificate (ST-60) will not be issued until the Agency Fee is Paid in Full**

Agency Fees: The project cost is the Total Project Cost from section III A

<u>Benefit Sought</u>	<u>Fee Charged</u>
Mortgage Recording Tax and/or Sales Tax exemptions:	0.01 X the project cost
Additional Fee for PILOT Agreement Projects:	0.0025 X the project cost
Fee for bond financing, refinancing & refunding:	0.0025 X the project cost

Note: For Manufacturing Projects under \$10 million the fee is reduced by: 0.0025 X the project cost

Agency Legal Fees: The project cost is the Total Project Cost from section III A

Fee for first \$20 million:	0.0025 of the project cost
Fee for expenses above \$20 million:	0.00125 of the project cost

In addition to the foregoing, Applicants are responsible for payment of all costs and expenses incurred by OCIDA in connection with application or Project including without limitation publication, copying costs, SEQRA compliance and fees and costs to OCIDA's attorneys, engineers, and consultants. OCIDA reserves the right to require a deposit to cover anticipated costs. Application fees are payable at time application/request is submitted. All fees are non-refundable. Applicants for bond transactions are responsible for payment of a Bond Issuance Charge payable to the State of New York. Applicants are also responsible for payment of post-closing fees and costs associated with the appointment of additional agents.

OCIDA reserves the right to modify this schedule at any time and assess fees and charges in connection with other transactions such as grants of easement or lease or sale of OCIDA-owned property.

Section VII: Recapture of Tax Abatement/Exemptions

Information to be Provided by Companies: Each Company agrees that to receive benefits from the Agency it must, whenever requested by the Agency or required under applicable statutes or project documents, provide and certify or cause to be provided and certified such information concerning the Company, its finances, its employees and other topics which shall, from time to time, be necessary or appropriate, including but not limited to, such information as to enable the Agency to make any reports required by law or governmental regulation.

Recapture of Benefits: It is the policy of the Agency to recapture the value of a PILOT, any sales and use tax exemption, and mortgage recording tax exemption in accordance with the Laws of the State and the provisions contained herein. Before receiving benefits, the Company must attest in writing to its understanding of, and agreement to, the recapture provisions contained in State Law and herein. To the extent permitted by State law, the recapture provisions contained herein may be modified from time to time by the Agency at its sole discretion.

Recapture of a PILOT, Sales Tax and the Mortgage Recording Tax Exemptions: If the number of full time equivalent jobs to be maintained or created in connection with a project falls below 75% of the number projected in the Company's application to the Agency, or if there are material violations of the project agreements, then the value of the property tax, sales and use tax and mortgage recording tax benefits extended to the project by the Agency may be subject to recapture. When deciding whether or not to recapture benefits and the amount of such recapture, the Agency may consider the potential future benefit of the business to the community.

Recapture Payment: The recapture payment paid by the Company to the Agency shall be determined (1) by the difference between any PILOT payments made by the Company and the property taxes that would have been paid by the Company if the property were not under the supervision, jurisdiction or control of the Agency, (2) the value of any mortgage recording tax exemption, if awarded to the Company and (3) the amount of sales and use tax that would have been paid if an exemption was not granted.

Recapture of the PILOT, Sales Tax or Mortgage Recording Tax: The Recapture Schedule for a Payment in Lieu of Tax Agreement, Sales Tax or the Mortgage Recording Tax is as follows:

Time from Project Completion	Tax Savings Recaptured
1 Year	80%
2 Years	60%
3 Years	40%
4 Years	20%
5 Years	10%

Distribution of the Recapture Payment: Any funds recaptured as a result of the recapture payment shall be distributed to the affected taxing jurisdictions in the same proportion as if the payments were paid or owed by the Company on the date of recapture.

Additional Conditions for the Recapture of Sales and Use Tax: As of April 1, 2013, New York State law requires Industrial Development Agencies to recapture sales tax benefits where:

- A project is not entitled to receive the benefits;
 - Exemptions received exceed the amount authorized by the Agency;
 - Exemptions are claimed by the Project for unauthorized property or services; or
 - A project fails to use property in the manner required by its IDA agreements.
1. **Distribution of Sales and Use Tax.** Project operators must cooperate with the Agency in its effort to recapture all sales and use tax benefits received by the Company by promptly paying the recapture amount as determined by the Agency. The amount to be recaptured will be dictated by State Law or this UTEP Policy, which ever may be applicable. The Agency shall remit the recaptured sales and use tax benefits to the State within 30 days of receipt.
 2. **Compliance Report.** Annually, the Agency will file an annual compliance report with the State of New York detailing its recapture terms and its activities to recapture benefits, including any attempt to recapture benefits from an Agency project.

A "Full Time Permanent Employee" shall mean

1. A full time, permanent, private sector employee on the Company's payroll, who has worked at the project location for a minimum of thirty hours per week for not less than four consecutive weeks and who is entitled to receive the usual and customary fringe benefits extended by Company to other employees with comparable rank, duties and hours; or
2. Up to three part time, permanent, private-sector employees on Company's payroll, who have worked at the project location for a combined minimum of thirty hours per week for not less than four consecutive weeks and who are entitled to receive the usual and customary fringe benefits extended by Company to other employees with comparable rank, duties and hours.

I have read the foregoing and agree to comply with all the terms and conditions contained therein as well as policies of the Onondaga County Industrial Agency.

Name of Applicant Company

DUNN TIRE LLC

Signature of Officer or Authorized Representative:

David P. Simons

Name & Title of Officer or Authorized Representative:

DAVID P. SIMONS, PRESIDENT

Date: 7-19-2021

Section VIII: Employment Plan

Jobs Listings: In accordance with §858-b(2) of the New York General Municipal Law, the Applicant understands and agrees that if the Project receives any Financial Assistance from the Agency, except as otherwise provided by collective bargaining agreements, new employment opportunities created as a result of the Project will be listed with the New York State Department of Labor Business Services and with the administrative entity of the service delivery area created by the Workforce Innovation and Opportunity Act of 2014 in which the Project is located. In Onondaga County, please contact CNY Works. Additionally, the applicant is encouraged to review the services provided by JOBSPlus! for candidate matching services.

Are the employees of your company currently covered by a collective bargaining agreement?

☐ Yes ☒ No

If yes, name and location: _____

Is the labor pool in Onondaga County and/or the CNY Economic Development Region adequate to fill new positions?

☒ Yes ☐ No

Enter Company Name in three (3) places below and sign by an authorized company officer:

In consideration of the benefits provided by the Onondaga County Industrial Development Agency (OCIDA), DUNN TIRE LLC, project beneficiary, also agrees to report to OCIDA on the number of new employment opportunities created in connection with industrial or commercial projects financed by the proceeds of such benefits to be listed with the New York State Department of Labor Business Services and CNY Works.

DUNN TIRE LLC, project beneficiary, also agrees to report to OCIDA on or before March 1 of each year the status of employment opportunities filed with the New York State Department of Labor Business Services, including the number of new employment opportunities created, the number listed, and the number filled for the year ending the prior December 31.

DUNN TIRE LLC, project beneficiary, further agrees that, to the extent practicable and feasible, and subject to the requirements of any existing collective bargaining agreement, the project beneficiary shall fill at least 10% of new employment opportunities with persons eligible for service under the Workforce Innovation and Opportunity Act of 2014.

Name of Applicant Company: DUNN TIRE LLC

Signature of Officer or Authorized Representative: David P. Simons

Name & Title of Officer or Authorized Representative: DAVID P. SIMONS, PRESIDENT

Date: 7-19-2021

NYS Department of Labor:
Roy Jewell
Associate Business Service Representative
450 South Salina Street, Syracuse, NY 13202 315-479-3362
roy.jewell@labor.ny.gov
www.labor.ny.gov

CNY Works
Chris Kennedy
Business Development Specialist
960 James Street, Syracuse, NY 13203
315-477-6974
ckennedy@cnyworks.com
www.cnyworks.com

Section IX: Conflict of Interest

Agency Board Members

1. Patrick Hogan
2. Steve Morgan
3. Victor Ianno
4. Sue Stanczyk
5. Kevin Ryan
6. Janice Herzog
7. Fanny Villarreal

Agency Officers/Staff

1. Robert M. Petrovich
2. Nathaniel Stevens
3. Nancy Lowery
4. Karen Doster
5. Chris Cox

Agency Legal Counsel & Auditor

1. Jeffrey Davis, Esq., Barclay Damon LLP
2. Amanda Mirabito, Esq., Barclay Damon LLP
3. Michael G. Lisson, CPA, Grossman St. Amour Certified Public Accountants PLLC

The Applicant has received from the Agency a list of members, officers and staff of the Agency. To the best of my knowledge, no member, officer or employee of the Agency has an interest, whether direct or indirect, in any transaction contemplated by this Application, except as hereinafter described:

Name of Applicant Company

DUNN TIRE LLC

Signature of Officer or Authorized Representative:

David C. Simons

Name & Title of Officer or Authorized Representative:

DAVID C. SIMONS, PRESIDENT

Date: 7-19-2021

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The Applicant has received from the Agency a list of members, officers and staff of the Agency. To the best of my knowledge, no member, officer or employee of the Agency has an interest, whether direct or indirect, in any transaction contemplated by this Application, except as hereinafter described:

Name of Applicant Company

STEWART HANCOCK PARTNERS LLC

Signature of Officer or Authorized Representative:

Joseph CATTAN.
MEMBER

Name & Title of Officer or Authorized Representative:

Date: 7-20-21

Section X: Representations, Certifications, and Indemnification

Joseph Cattalano (Name of CEO or other authorized representative of Applicant) confirms and says that he/she is the MANAGER (title) of STEWART HANCOCK PARTNERS LLC (name of corporation or other entity) named in the attached Application (the "Applicant"), that he/she has read the foregoing Application and knows the contents thereof, and hereby represents, understands, and otherwise agrees with the Agency and as follows:

- A. First Consideration for Employment:** In accordance with §858-b (2) of the New York General Municipal Law, the Applicant understands and agrees that if the Project receives any Financial Assistance from the Agency, except as otherwise provided by collective bargaining agreements, where practicable, the Applicant will first consider persons eligible to participate in WIA programs who shall be referred by the CNY Works for new employment opportunities created as a result of the Project.
- B. Other NYS Facilities:** In accordance with §862 (1) of the New York General Municipal Law, the Applicant understands and agrees that projects which will result in the removal of an industrial or manufacturing plant of the project occupant from one area of the state to another area of the state or in the abandonment of one or more plants or facilities of the project occupant within the state is ineligible for Agency Financial Assistance, unless otherwise approved by the Agency as reasonably necessary to preserve the competitive position of the project in its respective industry or is reasonably necessary.
- C. Annual Sales Tax Filings:** In accordance with §874(8) of the New York General Municipal Law, the Applicant understands and agrees that if the Project receives any sales tax exemptions as part of the Financial Assistance from the Agency, the Applicant agrees to file, or cause to be filed, with the New York State Department of Taxation and Finance, the annual form prescribed by the Department of Taxation and Finance, describing the value of all sales tax exemptions claimed by the Applicant and all consultants or subcontractors retained by the Applicant.
- D. Outstanding Bonds:** The Applicant understands and agrees to provide on an annual basis any information regarding bonds, if any, issued by the Agency for the project that is requested by the Comptroller of the State of New York.
- E. Employment Reports:** The Applicant understands and agrees that, if the Project receives any financial assistance from the Agency, the Applicant agrees to file with the Agency, at least annually or as otherwise required by the Agency, reports regarding the number of people employed at the project site, salary levels, contractor utilization and such other information (collectively, "Employment Reports") that may be required from time to time on such appropriate forms as designated by the Agency. Failure to provide Employment Reports within 30 days of an Agency request shall be an Event of Default under the PILOT Agreement between the Agency and Applicant and, if applicable, an Event of Default under the Agent Agreement between the Agency and Applicant. In addition, a Notice of Failure to provide the Agency with an Employment Report may be reported to Agency board members, with said report being an agenda item subject to the open

Section X: Representations, Certifications, and Indemnification

DAVID P. SIMONS (Name of CEO or other authorized representative of Applicant) confirms and says that ~~he~~she is the PRESIDENT (title) of DANN TIRE LLC (name of corporation or other entity) named in the attached Application (the "Applicant"), that he/she has read the foregoing Application and knows the contents thereof, and hereby represents, understands, and otherwise agrees with the Agency and as follows:

- A. First Consideration for Employment:** In accordance with §858-b (2) of the New York General Municipal Law, the Applicant understands and agrees that if the Project receives any Financial Assistance from the Agency, except as otherwise provided by collective bargaining agreements, where practicable, the Applicant will first consider persons eligible to participate in WIA programs who shall be referred by the CNY Works for new employment opportunities created as a result of the Project.
- B. Other NYS Facilities:** In accordance with §862 (1) of the New York General Municipal Law, the Applicant understands and agrees that projects which will result in the removal of an industrial or manufacturing plant of the project occupant from one area of the state to another area of the state or in the abandonment of one or more plants or facilities of the project occupant within the state is ineligible for Agency Financial Assistance, unless otherwise approved by the Agency as reasonably necessary to preserve the competitive position of the project in its respective industry or is reasonably necessary.
- C. Annual Sales Tax Filings:** In accordance with §874(8) of the New York General Municipal Law, the Applicant understands and agrees that if the Project receives any sales tax exemptions as part of the Financial Assistance from the Agency, the Applicant agrees to file, or cause to be filed, with the New York State Department of Taxation and Finance, the annual form prescribed by the Department of Taxation and Finance, describing the value of all sales tax exemptions claimed by the Applicant and all consultants or subcontractors retained by the Applicant.
- D. Outstanding Bonds:** The Applicant understands and agrees to provide on an annual basis any information regarding bonds, if any, issued by the Agency for the project that is requested by the Comptroller of the State of New York.
- E. Employment Reports:** The Applicant understands and agrees that, if the Project receives any financial assistance from the Agency, the Applicant agrees to file with the Agency, at least annually or as otherwise required by the Agency, reports regarding the number of people employed at the project site, salary levels, contractor utilization and such other information (collectively, "Employment Reports") that may be required from time to time on such appropriate forms as designated by the Agency. Failure to provide Employment Reports within 30 days of an Agency request shall be an Event of Default under the PILOT Agreement between the Agency and Applicant and, if applicable, an Event of Default under the Agent Agreement between the Agency and Applicant. In addition, a Notice of Failure to provide the Agency with an Employment Report may be reported to Agency board members, with said report being an agenda item subject to the open

meetings law.

F. Absence of Conflicts of Interest: The Applicant has received from the Agency a list of the members, officers and employees of the Agency. No member, officer or employee of the Agency has an interest, whether direct or indirect in any transaction contemplated by this Application, except as hereinafter described in Section X.

G. Compliance: The Applicant understands and agrees that it is in substantial compliance with applicable local, state, and federal tax, worker protection, and environmental laws, rules, and regulations.

H. The Applicant understands and agrees that the provisions of Section 862(1) of the New York General Municipal Law, as provided below, will not be violated if financial assistance is provided for the proposed Project:

§ 862. Restrictions on funds of the Agency. (1) No funds of the Agency shall be used in respect of any project if the completion thereof would result in the removal of an industrial or manufacturing plant of the project occupant from one area of the state to another area of the state or in the abandonment of one or more plants or facilities of the project occupant located within the state, provided, however, that neither restriction shall apply if the agency shall determine on the basis of the application before it that the project is reasonably necessary to discourage the project occupant from removing such other plant or facility to a location outside the state or is reasonably necessary to preserve the competitive position of the project occupant in its respective industry.

I. The Applicant confirms and acknowledges that the owner, occupant or operator receiving financial assistance for the proposed Project is in substantial compliance with applicable local, state, and federal tax, worker protection and environmental laws, rules and regulations.

J. The Applicant confirms and acknowledges that the submission of any knowingly false or knowingly misleading information may lead to the immediate termination of any financial assistance and the reimbursement of an amount equal to all or part of any tax exemption claimed by reason of the Agency's involvement in the Project.

K. The Applicant confirms and hereby acknowledges that as of the date of this Application, the Applicant is in substantial compliance with all provisions of Article 18-A of the New York General Municipal Law, including, but not limited to, the provision of Section 859-a and Section 862(1) of the New York General Municipal Law.

L. The Applicant and the individual executing this Application on behalf of Applicant acknowledge that the Agency and its counsel will rely on the representations and covenants made in this Application when acting hereon and hereby represents that the statements made herein do not contain any untrue statement of a material fact and do not omit to state a material fact necessary to make the statement contained herein not misleading.

M. The OCIDA has the right to request and inspect supporting documentation regarding attestations made on this application.

N. **Hold Harmless Agreement:** Applicant hereby releases Onondaga County Industrial Development Agency and the members, officers, servants, agents and employees thereof (the "Agency") from, agrees that the Agency shall not be liable for, and agrees to indemnify, defend and hold the Agency harmless from and against any and all liability arising from or expense incurred by: (A) the Agency's examination and processing of, and action pursuant to or upon, the attached Application, regardless of whether or not the Application or the Project described therein or the tax-exemptions and other assistance requested therein are favorably acted upon by the Agency; (B) the Agency's acquisition, construction, and/or installation of the Project described therein and (C) any further action taken by the Agency with respect to the Project, including without limiting the generality of the foregoing, all cause of action and attorney's fees and any other expenses incurred in defending any suits or action which may arise as a result of any of the foregoing. If, for any reason, the Applicant fails to conclude or consummate necessary negotiations, or fails, within a reasonable or specified period of time, to take reasonable, proper or requested action, or withdraws, abandons, cancels or neglects the Application, or if the Agency or the Applicant are unable to reach final agreement with respect to the Project, then, and in the event, upon presentation of an invoice itemizing the same, the Applicant shall pay to the Agency, its agents or assigns, all costs incurred by the Agency in the process of the Application, including attorney's fees, if any.

Name of Applicant Company

DUNN TIRE LLC

Signature of Officer or Authorized Representative:

[Signature]

Name & Title of Officer or Authorized Representative:

DAVID P. SIMONS, PRESIDENT

Date: 7-19-2021

STATE OF NEW YORK

)

COUNTY OF ONONDAGA

)ss.;

DAVID P. SIMONS, being first duly sworn, deposes and says:

1. That I am the PRESIDENT (Corporate Officer) of DUNN TIRE LLC (Applicant) and that I am duly authorized on behalf of the Applicant to bind the Applicant.
2. That I have read and attached Application, I Know the contents thereof, and that to the best of my knowledge and belief, this Application and the contents of this Application are true, accurate and complete

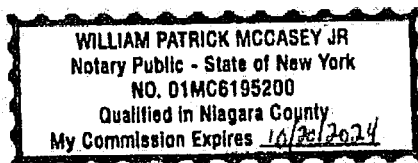
[Signature]

(Signature of Officer)

Subscribed and affirmed to me under penalties of perjury this 19th day of July, 2021.

[Signature]

(Notary Public)



End of Application

Rev 1-9-20

Name of Applicant Company STEWART HANCOCK PARTNERS LLC
Signature of Officer or Authorized Representative: [Signature]
Name & Title of Officer or Authorized Representative: JOSEPH CATTALANI' MANAGER
Date: 7-20-21

STATE OF NEW YORK)
COUNTY OF ONONDAGA)ss.;

JOSEPH CATTALANI', being first duly sworn, deposes and says:

1. That I am the MANAGER (Corporate Officer) of STEWART HANCOCK PARTNERS LLC (Applicant) and that I am duly authorized on behalf of the Applicant to bind the Applicant.
2. That I have read and attached Application, I Know the contents thereof, and that to the best of my knowledge and belief, this Application and the contents of this Application are true, accurate and complete

(Signature of Officer)

Subscribed and affirmed to me under penalties of perjury this 20 day of 7, 2021.

[Signature: Arlisha Massey]

(Notary Public)

ARLISHA MASSEY
Notary Public, State of New York
No. 01MA5059267
Qualified in Monroe County
Commission Expires April 27, 2022

End of Application

**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: express tire warehouse		
Project Location (describe, and attach a general location map): Stewart Drive, Cicero, NY		
Brief Description of Proposed Action (include purpose or need): Build a 62,500 sq ft distribution warehouse.		
Name of Applicant/Sponsor: stewart Hancock Partners LLC		Telephone: 585-329-4601
		E-Mail: joe@cattalani.com
Address: 649 Park Avenue		
City/PO: rochester	State: NY	Zip Code: 14607
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, ☐ Yes ☐ No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission ☒ Yes ☐ No	town of cicero planning board	9/21
c. City, Town or Village Zoning Board of Appeals ☐ Yes ☐ No		
d. Other local agencies ☐ Yes ☐ No		
e. County agencies ☒ Yes ☐ No	Onondaga County IDA	7/21
f. Regional agencies ☐ Yes ☐ No		
g. State agencies ☐ Yes ☐ No		
h. Federal agencies ☐ Yes ☐ No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		☐ Yes ☐ No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		☐ Yes ☐ No
iii. Is the project site within a Coastal Erosion Hazard Area?		☐ Yes ☐ No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	☒ Yes ☐ No
- If Yes, complete sections C, F and G. - If No, proceed to question C.2 and complete all remaining sections and questions in Part 1	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	☐ Yes ☒ No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	☐ Yes ☐ No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	☐ Yes ☒ No
If Yes, identify the plan(s):	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	☐ Yes ☐ No
If Yes, identify the plan(s):	

C.3. Zoning	
a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. If Yes, what is the zoning classification(s) including any applicable overlay district? Industrial	☒ Yes ☐ No
b. Is the use permitted or allowed by a special or conditional use permit?	☐ Yes ☒ No
c. Is a zoning change requested as part of the proposed action? If Yes,	☐ Yes ☒ No
i. What is the proposed new zoning for the site?	
C.4. Existing community services.	
a. In what school district is the project site located? north syracuse	
b. What police or other public protection forces serve the project site? cicero	
c. Which fire protection and emergency medical services serve the project site? cicero	
d. What parks serve the project site?	

D. Project Details

D.1. Proposed and Potential Development	
a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Industrial	
b. a. Total acreage of the site of the proposed action?	7 acres
b. Total acreage to be physically disturbed?	2.5 acres acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?	acres
c. Is the proposed action an expansion of an existing project or use?	
☐ Yes ☒ No	
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % Units:	
d. Is the proposed action a subdivision, or does it include a subdivision?	
☐ Yes ☒ No	
If Yes,	
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)	
ii. Is a cluster/conservation layout proposed?	
☐ Yes ☒ No	
iii. Number of lots proposed?	
iv. Minimum and maximum proposed lot sizes? Minimum Maximum	
e. Will the proposed action be constructed in multiple phases?	
☐ Yes ☒ No	
i. If No, anticipated period of construction:	
9 months	
ii. If Yes:	
• Total number of phases anticipated • Anticipated commencement date of phase 1 (including demolition) month year • Anticipated completion date of final phase month year • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases:	

f. Does the project include new residential uses? ☐ Yes ☒ No				
If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? ☒ Yes ☐ No	
If Yes,	
i. Total number of structures <u>1</u>	
ii. Dimensions (in feet) of largest proposed structure: <u>30'</u> height; <u>250'</u> width; and <u>250'</u> length	
iii. Approximate extent of building space to be heated or cooled: <u>62,500</u> square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? ☐ Yes ☒ No	
If Yes,	
i. Purpose of the impoundment: _____	
ii. If a water impoundment, the principal source of the water: ☐ Ground water ☐ Surface water streams ☐ Other specify: _____	
iii. If other than water, identify the type of impounded/contained liquids and their source. _____	
iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres	
v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length	
vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____	

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? ☒ Yes ☐ No	
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)	
If Yes:	
i. What is the purpose of the excavation or dredging? <u>site work</u>	
ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?	
• Volume (specify tons or cubic yards): <u>none</u>	
• Over what duration of time? <u>2</u>	
iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. <u>general excavation for footers and other traditional site work</u>	
iv. Will there be onsite dewatering or processing of excavated materials? ☐ Yes ☒ No	
If yes, describe. _____	
v. What is the total area to be dredged or excavated? <u>1.5</u> acres	
vi. What is the maximum area to be worked at any one time? <u>1.5</u> acres	
vii. What would be the maximum depth of excavation or dredging? <u>4'</u> feet	
viii. Will the excavation require blasting? ☐ Yes ☒ No	
ix. Summarize site reclamation goals and plan: _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? ☐ Yes ☒ No	
If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments?

☐ Yes ☐ No

If Yes, describe:

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?

☐ Yes ☐ No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____

• proposed method of plant removal: _____

• if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water?

☒ Yes ☐ No

If Yes:

i. Total anticipated water usage/demand per day: _____ 500 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?

☒ Yes ☐ No

If Yes:

• Name of district or service area: onondaga water

• Does the existing public water supply have capacity to serve the proposal?

☒ Yes ☐ No

• Is the project site in the existing district?

☒ Yes ☐ No

• Is expansion of the district needed?

☐ Yes ☒ No

• Do existing lines serve the project site?

☒ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project?

☒ Yes ☐ No

If Yes:

• Describe extensions or capacity expansions proposed to serve this project: _____
run water to building for restroom/breakroom use and standby for sprinkler system

• Source(s) of supply for the district: onodaga water

iv. Is a new water supply district or service area proposed to be formed to serve the project site?

☐ Yes ☒ No

If, Yes:

• Applicant/sponsor for new district: _____

• Date application submitted or anticipated: _____

• Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes?

☐ Yes ☒ No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities?

☐ Yes ☒ No

If Yes:

• Name of wastewater treatment plant to be used: _____

• Name of district: _____

• Does the existing wastewater treatment plant have capacity to serve the project?

☒ Yes ☐ No

• Is the project site in the existing district?

☒ Yes ☐ No

• Is expansion of the district needed?

☐ Yes ☒ No

• Do existing sewer lines serve the project site? ☒ Yes ☐ No • Will a line extension within an existing district be necessary to serve the project? ☒ Yes ☐ No If Yes: • Describe extensions or capacity expansions proposed to serve this project: _____ connect sewer to building to service restrooms/breakroom _____	
iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? ☐ Yes ☒ No If Yes: • Applicant/sponsor for new district: _____ • Date application submitted or anticipated: _____ • What is the receiving water for the wastewater discharge? _____ v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans): _____ _____ vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____ _____ _____	
e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? ☒ Yes ☐ No If Yes: i. How much impervious surface will the project create in relation to total size of project parcel? _____ Square feet or _____ acres (impervious surface) _____ Square feet or _____ acres (parcel size) ii. Describe types of new point sources. _____ _____ iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? _____ _____ • If to surface waters, identify receiving water bodies or wetlands: _____ _____ • Will stormwater runoff flow to adjacent properties? ☐ Yes ☐ No	
iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? ☐ Yes ☐ No	
f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? ☐ Yes ☐ No If Yes, identify: i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____ ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____ iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____	
g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? ☐ Yes ☐ No If Yes: i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) ☐ Yes ☐ No ii. In addition to emissions as calculated in the application, the project will generate: • _____ Tons/year (short tons) of Carbon Dioxide (CO₂) • _____ Tons/year (short tons) of Nitrous Oxide (N₂O) • _____ Tons/year (short tons) of Perfluorocarbons (PFCs) • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆) • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs) • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)	

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? ☐ Yes ☒ No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? ☐ Yes ☒ No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? ☐ Yes ☒ No

If Yes:

i. When is the peak traffic expected (Check all that apply): ☐ Morning ☐ Evening ☐ Weekend
☐ Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? ☐ Yes ☐ No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? ☐ Yes ☐ No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? ☐ Yes ☐ No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? ☐ Yes ☐ No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? ☒ Yes ☐ No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____
for lights/furnace fans, AC and forklift charging stations

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
local grid _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? ☐ Yes ☒ No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: _____ 8-5
- Saturday: _____ 0
- Sunday: _____ 0
- Holidays: _____ 0

ii. During Operations:

- Monday - Friday: _____ 8-5
- Saturday: _____ 8-noon
- Sunday: _____ 0
- Holidays: _____ 0

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? ☒ Yes ☐ No If yes: i. Provide details including sources, time of day and duration: typical daytime construction vehicles _____
ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? ☐ Yes ☒ No Describe: _____
n. Will the proposed action have outdoor lighting? ☒ Yes ☐ No If yes: i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures: lighting to service parking areas _____
ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? ☐ Yes ☒ No Describe: _____
o. Does the proposed action have the potential to produce odors for more than one hour per day? ☐ Yes ☒ No If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____
p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? ☐ Yes ☒ No If Yes: i. Product(s) to be stored _____ ii. Volume(s) _____ per unit time _____ (e.g., month, year) iii. Generally, describe the proposed storage facilities: _____
q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? ☐ Yes ☒ No If Yes: i. Describe proposed treatment(s): _____
ii. Will the proposed action use Integrated Pest Management Practices? ☐ Yes ☐ No
r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? ☐ Yes ☒ No If Yes: i. Describe any solid waste(s) to be generated during construction or operation of the facility: • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste: • Construction: _____ • Operation: _____ iii. Proposed disposal methods/facilities for solid waste generated on-site: • Construction: _____ • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☐ Urban ☒ Industrial ☒ Commercial ☐ Residential (suburban) ☐ Rural (non-farm)

☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested	0		
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	7	4.5	2.5
• Agricultural (includes active orchards, field, greenhouse etc.)	0		
• Surface water features (lakes, ponds, streams, rivers, etc.)	0		
• Wetlands (freshwater or tidal)	0		
• Non-vegetated (bare rock, earth or fill)	0		
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? <i>i. If Yes: explain:</i> _____	☐ Yes ☒ No
d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? If Yes, <i>i. Identify Facilities:</i> _____	☐ Yes ☒ No
e. Does the project site contain an existing dam? If Yes: <i>i. Dimensions of the dam and impoundment:</i> • Dam height: _____ feet • Dam length: _____ feet • Surface area: _____ acres • Volume impounded: _____ gallons OR acre-feet <i>ii. Dam's existing hazard classification:</i> _____ <i>iii. Provide date and summarize results of last inspection:</i> _____	☐ Yes ☒ No
f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? If Yes: <i>i. Has the facility been formally closed?</i> • If yes, cite sources/documentation: _____ <i>ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:</i> _____ <i>iii. Describe any development constraints due to the prior solid waste activities:</i> _____	☐ Yes ☒ No ☐ Yes ☐ No
g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: <i>i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:</i> _____	☐ Yes ☒ No
h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: <i>i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:</i> ☐ Yes – Spills Incidents database ☐ Yes – Environmental Site Remediation database ☐ Neither database Provide DEC ID number(s): _____ Provide DEC ID number(s): _____ <i>ii. If site has been subject of RCRA corrective activities, describe control measures:</i> _____ <i>iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?</i> If yes, provide DEC ID number(s): _____ <i>iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):</i> _____	☐ Yes ☒ No ☐ Yes ☐ No

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____
n. Does the project site contain a designated significant natural community? ☐ Yes ☒ No If Yes: i. Describe the habitat/community (composition, function, and basis for designation): _____ ii. Source(s) of description or evaluation: _____ iii. Extent of community/habitat: • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? ☐ Yes ☒ No If Yes: i. Species and listing (endangered or threatened): _____ _____
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? ☐ Yes ☒ No If Yes: i. Species and listing: _____ _____
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? ☐ Yes ☒ No If yes, give a brief description of how the proposed action may affect that use: _____ _____
E.3. Designated Public Resources On or Near Project Site
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? ☐ Yes ☒ No If Yes, provide county plus district name/number: _____
b. Are agricultural lands consisting of highly productive soils present? ☐ Yes ☒ No i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? ☐ Yes ☒ No If Yes: i. Nature of the natural landmark: ☐ Biological Community ☐ Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? ☐ Yes ☒ No If Yes: i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? ☐ Yes ☒ No If Yes: i. Nature of historic/archaeological resource: ☐ Archaeological Site ☐ Historic Building or District ii. Name: _____ iii. Brief description of attributes on which listing is based: _____
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? ☐ Yes ☒ No
g. Have additional archaeological or historic site(s) or resources been identified on the project site? ☐ Yes ☒ No If Yes: i. Describe possible resource(s): _____ ii. Basis for identification: _____
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? ☐ Yes ☒ No If Yes: i. Identify resource: _____ ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____ iii. Distance between project and resource: _____ miles.
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? ☐ Yes ☒ No If Yes: i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? ☐ Yes ☐ No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

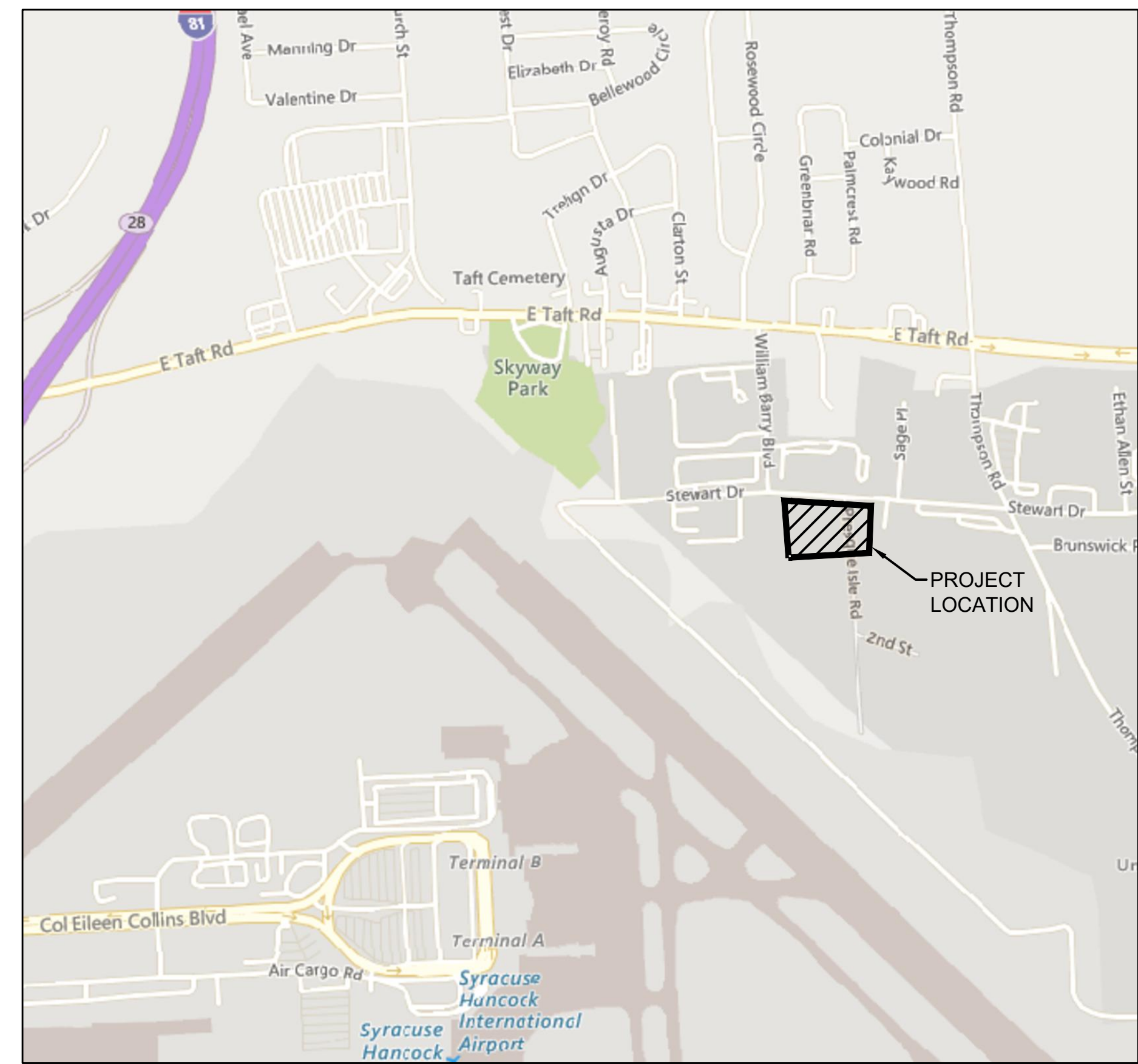
I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name _____ Date _____

Signature _____ Title _____

PRINT FORM

CONTRACT DRAWINGS



LOCATION PLAN
NOT TO SCALE

INDEX TO DRAWINGS

	COVER SHEET
C-001	GENERAL NOTES
C-101	SITE PLAN
C-102	SITE GRADING, DRAINAGE & ESC PLAN
C-103	SITE UTILITY PLAN
C-104	PHOTOMETRIC PLAN
C-501	MISCELLANEOUS DETAILS
C-502	MISCELLANEOUS DETAILS

DISTRIBUTION CENTER

STEWART DRIVE
TOWN OF CICERO
ONONDAGA COUNTY

JULY 2021



MBL ENGINEERING, PLLC
16510 BALCH PLACE
MANNSVILLE, NY 13661

SITE NOTES:

1. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL NOTIFY DIG SAFELY NEW YORK (1.800.962.7962 OR 811) PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, INCLUDING ANY EXCAVATION AND TEST BORINGS ACCORDING TO CODE RULE 753. THE CONTRACTOR SHALL CONTACT DIG SAFELY NEW YORK AND THE OWNER PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES AND SHALL PROVIDE AT LEAST 72 HOURS NOTIFICATION.
2. THE CONTRACTOR SHALL COORDINATE ALL WORK AFFECTING UTILITIES WITH THE RESPECTIVE UTILITY OWNER INCLUDING THE TOWN OF CICERO FOR THE SANITARY CONNECTIONS. ALL DETAILS OF CONSTRUCTION AND/OR RELOCATION OF AFFECTED UTILITIES SHALL BE APPROVED BY THE UTILITY OWNER, THE OWNER AND OTHER APPROVING AGENCIES.
3. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLAN, AND STORMWATER POLLUTION PREVENTION PLAN.

SURVEY NOTES

1. TOPOGRAPHIC & PLANIMETRIC INFORMATION SHOWN HEREIN PLOTTED FROM FIELD SURVEY PERFORMED BY BARDOUN LAND SURVEYING
2. SUBJECT TO ANY AND ALL EASEMENTS OF RECORD AND/OR AS FOUND IN THE FIELD.
3. VERTICAL DATUM BASED ON NAVD1988. HORIZONTAL DATUM BASED ON NAD83, NEW YORK STATE PLANE COORDINATES, CENTRAL ZONE.

NEW YORK STATE D.O.T. SPECIFICATIONS:

1. CONTRACTOR SHALL FOLLOW REQUIREMENTS OF 608-01 STANDARD SHEETS
2. EXCEPT AS MODIFIED HEREIN, SECTIONS 200 THROUGH 700 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS ISSUED BY THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION, OFFICE OF ENGINEERING, INCLUDING ALL REVISIONS AND ADDENDA ISSUED BY NYSDOT PRIOR TO THE DATE THE NOTICE TO BIDDERS IS ADVERTISED, HEREINAFTER REFERRED TO AS THE NYSDOT STANDARD SPECIFICATIONS, SHALL GOVERN THE WORK TO BE DONE WHERE REFERRED TO ON THE PLANS AND IN THE SPECIFICATIONS. IF A CONFLICT EXISTS BETWEEN THE NYSDOT STANDARD SPECIFICATIONS AND THESE CONTRACT DOCUMENTS, THE CONTRACT DOCUMENTS SHALL GOVERN.
3. ANY REFERENCE TO NYSDOT STANDARD SPECIFICATIONS IS LIMITED IN SCOPE TO TECHNICAL ENGINEERING AND CONSTRUCTION WORK; MATERIALS, DETAILS, PROCEDURES, ETC. ALL REFERENCES TO THE STATE OR THE NYSDOT OR ADMINISTRATIVE OFFICERS OR EMPLOYEES THEREOF ARE NULL AND VOID WITH RESPECT TO LEGAL OR CONTRACTUAL RESPONSIBILITIES.
4. FOR CLARIFICATION, WHERE THE STATE OF NEW YORK OR THE NYSDOT OR ADMINISTRATIVE OFFICERS OR EMPLOYEES THEREOF ARE NAMED IN THE STANDARD SPECIFICATIONS, SUCH REFERENCES SHALL BE TAKEN TO MEAN EITHER THE ENGINEER OR OWNER AS DEFINED BY THE CONTRACT, EACH WITH SEPARATE AND DISTINCT RESPONSIBILITIES DESCRIBED OR REASONABLY IMPLIED BY THE CONTRACT.
5. THE CONTRACTOR IS ADVISED THAT THE METHOD OF MEASUREMENT AND BASIS OF PAYMENT FOR INDIVIDUAL NYSDOT ITEM NUMBERS DOES NOT NECESSARILY REFLECT THE OWNER'S METHOD OF MEASUREMENTS AND/OR BASIS OF PAYMENT.

GENERAL UTILITY:

1. THE APPROXIMATE LOCATION OF ALL KNOWN EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS. THE CONTRACTOR SHALL VERIFY THE TRUE LOCATION AND DEPTH PRIOR TO COMMENCING WORK. BEFORE ANY PIPE IS INSTALLED, THE CONTRACTOR SHALL UNCOVER ALL EXISTING UTILITIES AT PROPOSED PIPE CROSSINGS TO ENABLE THE OWNER'S REPRESENTATIVE TO VERIFY NO CONFLICTS OF UTILITY LOCATIONS SHALL OCCUR. IN THE EVENT A CONFLICT OR POTENTIAL CONFLICT IS IDENTIFIED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY.
2. THE CONTRACTOR SHALL VERIFY LOCATION, SIZE AND JOINT TYPE OF EXISTING PIPES AT CONNECTION LOCATIONS PRIOR TO CONSTRUCTION, TO ENABLE AN APPROVED COMPATIBLE CONNECTION.

DRAINAGE:

1. STORM SEWER PIPE SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE DRAINAGE PIPE WITH MANNINGS "N" OF 0.012 OR LESS (ADS N-12 OR APPROVED EQUAL).
2. ALL STRUCTURES AND APPURTENANCES SHALL BE DESIGNED FOR H25 LOADINGS.
3. FRAMES AND GRATES SHALL BE AS NOTED ON RESPECTIVE DETAILS.
4. ALL EXISTING DRAINAGE FACILITIES TO REMAIN SHALL BE MAINTAINED FREE OF DEBRIS AND FOREIGN MATTER AND OPERATIONAL THROUGHOUT THE DURATION OF THE CONTRACT.
5. ALL PROPOSED CATCH BASINS AND MANHOLE RIMS TO BE ADJUSTED TO FINISHED GRADE ELEVATION, AS REQUIRED.

SANITARY SEWER:

1. CONTRACTOR SHALL NOT DIRECT SURFACE OR SUBSURFACE WATER TO THE SANITARY SEWER SYSTEM WITHOUT WRITTEN PERMISSION AND IN COMPLIANCE WITH THE REQUIREMENTS OF THE VILLAGE OF PHOENIX. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH DISPOSAL OF WATER.
2. ALL STRUCTURES AND APPURTENANCES SHALL BE DESIGNED FOR H25 LOADINGS EXCEPT WITHIN YARDS.
3. ALL SANITARY SEWER PIPE SHALL BE SDR-35.
4. LETTERING ON MANHOLE COVERS TO READ "SANITARY SEWER". MANHOLE RIMS ARE TO BE ADJUSTED TO MEET FINISHED GRADE ELEVATION.

WATERMAIN:

1. WATER SERVICE SHALL BE AS NOTED IN SCHEDULE.

PIPE SCHEDULE	
WATER	HDPE
SANITARY	SDR-35
STORM	SICPP ADS N-12 WT

GRADING:

1. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN UNTIL THEY ARE ADEQUATELY STABILIZED. NO TREES CAN BE CLEARED DURING THE INDIANA BAT SEASON 6" CALIBER OR LARGER
2. AREAS SCHEDULED FOR EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
3. ALL EMBANKMENTS SHALL BE COMPACTED AS SPECIFIED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.
4. ALL EMBANKMENT MATERIALS SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 8 INCHES IN THICKNESS.
5. FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO EMBANKMENT SLOPES OF STRUCTURAL FILLS.
6. ALL DISTURBED AREAS WILL BE RESTORED IN ACCORDANCE WITH THE SOIL RESTORATION REQUIREMENTS IN TABLE 5.3 OF THE STORMWATER DESIGN MANUAL.

STABILIZATION WITH MULCH:

1. PROTECTIVE MATERIALS:
 - A. UNROTTED SMALL-GRAIN STRAW OR SALT HAY SHALL BE SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS OR NETTING TIEDOWN.
 - B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED, UNDER SUITABLE CONDITIONS AND IN SUFFICIENT QUANTITIES.
 - C. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE MAY BE APPLIED BY A HYDROSEEDER OR HYDROMULCHER.
 - D. MULCH NETTING, SUCH AS PAPER JUTE, EXCELSIOR, COTTON OR PLASTIC MAY BE USED.
 - E. EXCELSIOR MATTING SHALL BE USED ON SLOPES OF 1:4 OR STEEPER.
2. MULCH ANCHORING:
 - A. PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE AND AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
 - B. MULCH NETTINGS - STAPLE PAPER, COTTON OR PLASTIC NETTINGS OVER HAY OR STRAW MULCH. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED. NETTING IS USUALLY AVAILABLE IN ROLLS 4 FEET WIDE AND UP TO 300 FEET LONG.

[illegible]

GENERAL NOTES

— MBL —
ENGINEERING, PLLC

DISTRIBUTION CENTER
STEWART DRIVE
TOWN OF CICERO
ONONDAGA COUNTY

PROJECT #
21-24C

DATE:
JULY 2021

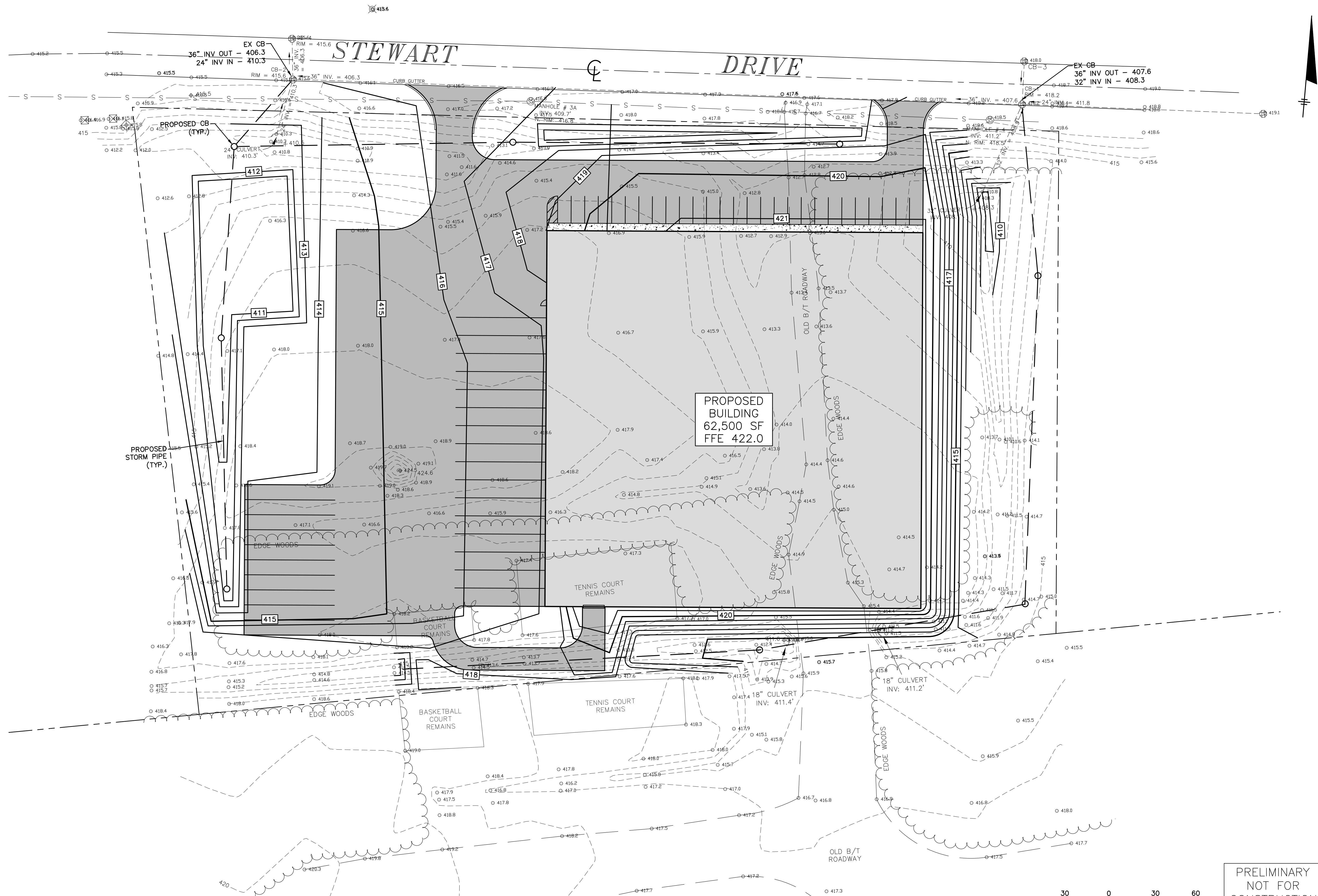
SHEET #
C-001

PRELIMINARY
NOT FOR
CONSTRUCTION

DATE: 07/19/2021

THIS DRAWING WAS PREPARED AT THE SCALE INDICATED IN THE TITLE BLOCK. INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR IN THE TITLE BLOCK TO DETERMINE THE ACTUAL SCALE OF THIS DRAWING.

IT IS A VIOLATION OF LAW FOR ANY PERSON,
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PLAN
SCALE: 1"=30'

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PRELIMINARY
NOT FOR
CONSTRUCTION
DATE: 07/19/2021

PROJECT #
21-240

DATE:
JULY 2021

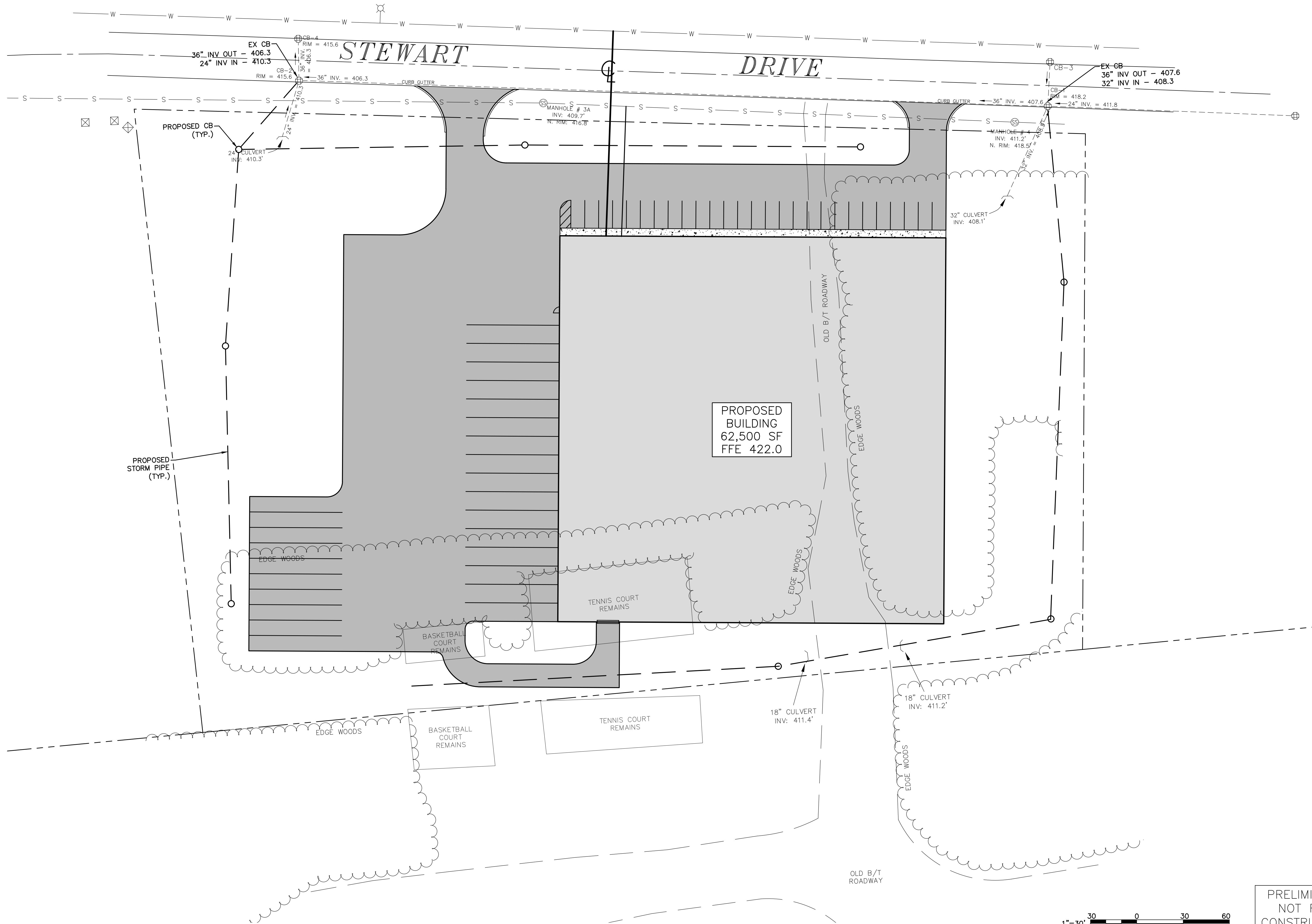
SHEET #
C-102

MBL
ENGINEERING, PLLC

DISTRIBUTION CENTER
STEWART DRIVE
TOWN OF CICERO
ONONDAGA COUNTY

SITE GRADING,
DRAINAGE & ESC
PLAN

NO.	DATE	DRAWING RELEASE



PLAN
SCALE: 1"=30'

THIS DRAWING WAS PREPARED AT THE SCALE INDICATED IN THE TITLE BLOCK. INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR IN THE TITLE BLOCK TO DETERMINE THE ACTUAL SCALE OF THIS DRAWING.

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PRELIMINARY
NOT FOR
CONSTRUCTION
DATE: 07/19/2021

NO.	DATE	DRAWING RELEASE

SITE UTILITY
PLAN

MBL
ENGINEERING, PLLC

DISTRIBUTION CENTER
STEWART DRIVE
TOWN OF CICERO
ONONDAGA COUNTY

PROJECT #
21-240

DATE:
JULY 2021

SHEET #
C-103

STEWART

DRIVE

PROPOSED
BUILDING
62,500 SF
FFE 422.0

~~EDGE WOODS~~

EDGE WOODS

EDGE WOODS

PLAN

SCALE: 1"=30'

THIS DRAWING WAS PREPARED AT THE SCALE INDICATED IN THE TITLE BLOCK.
INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS
ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR IN THE TITLE
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PRELIMINARY
NOT FOR
CONSTRUCTION

DATE: 07/19/2021

PROJECT #
21-240

DATE:
JULY 2021

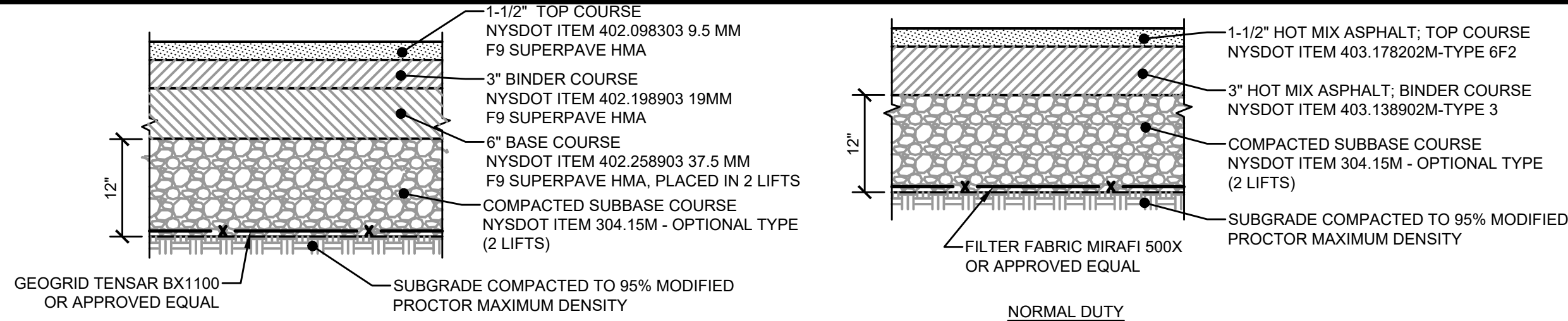
SHEET #
C-104

DISTRIBUTION CENTER
STEWART DRIVE
TOWN OF CICERO
ONONDAGA COUNTY

— MBL —
ENGINEERING, PLLC

PHOTOMETRIC
PLAN

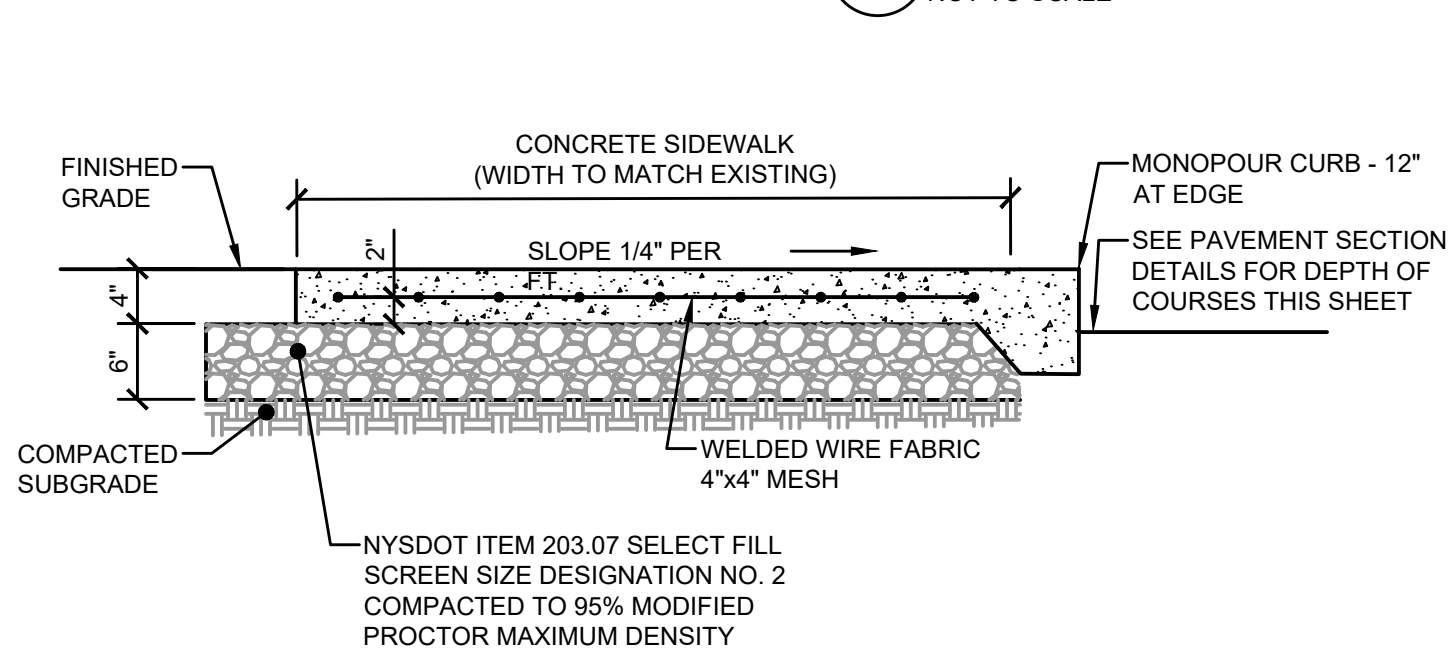
NO.	DATE	DRAWING RELEASE
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NOTE:

1. SEE SHEET C-003 FOR LIMITS OF HEAVY DUTY AND NORMAL DUTY PAVEMENT.

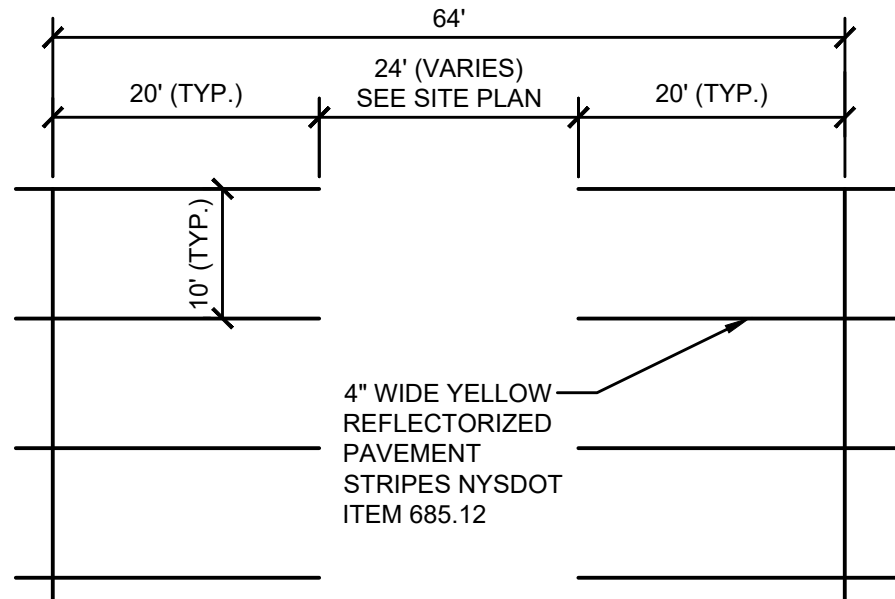
A
 ASPHALT CONCRETE PAVEMENT SECTIONS
 NOT TO SCALE



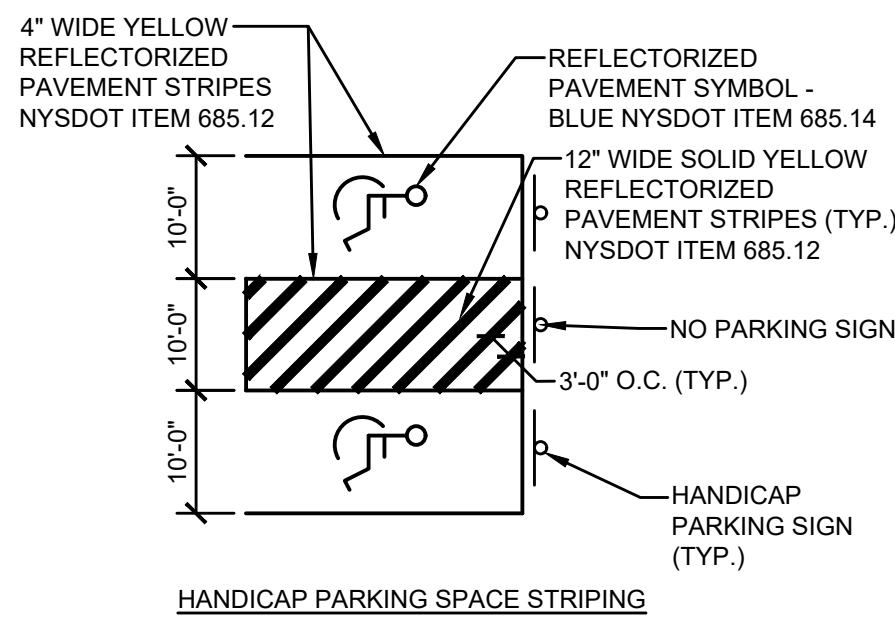
NOTES:

1. CONCRETE SHALL BE 4500 P.S.I. (MIN.) AIR ENTRAINED CONCRETE.
2. FULL DEPTH EXPANSION JOINTS SHALL BE PROVIDED EVERY 25', MARKED JOINTS SHALL BE AT 5' SPACING AND FORMED BY A GROOVING TOOL. SEE EXPANSION JOINT DETAIL ON SHEET G-8.
3. CONCRETE SURFACE SHALL BE BROOM FINISHED PERPENDICULAR TO THE DIRECTION OF TRAVEL.

B
 TYPICAL SIDEWALK DETAIL
 NOT TO SCALE



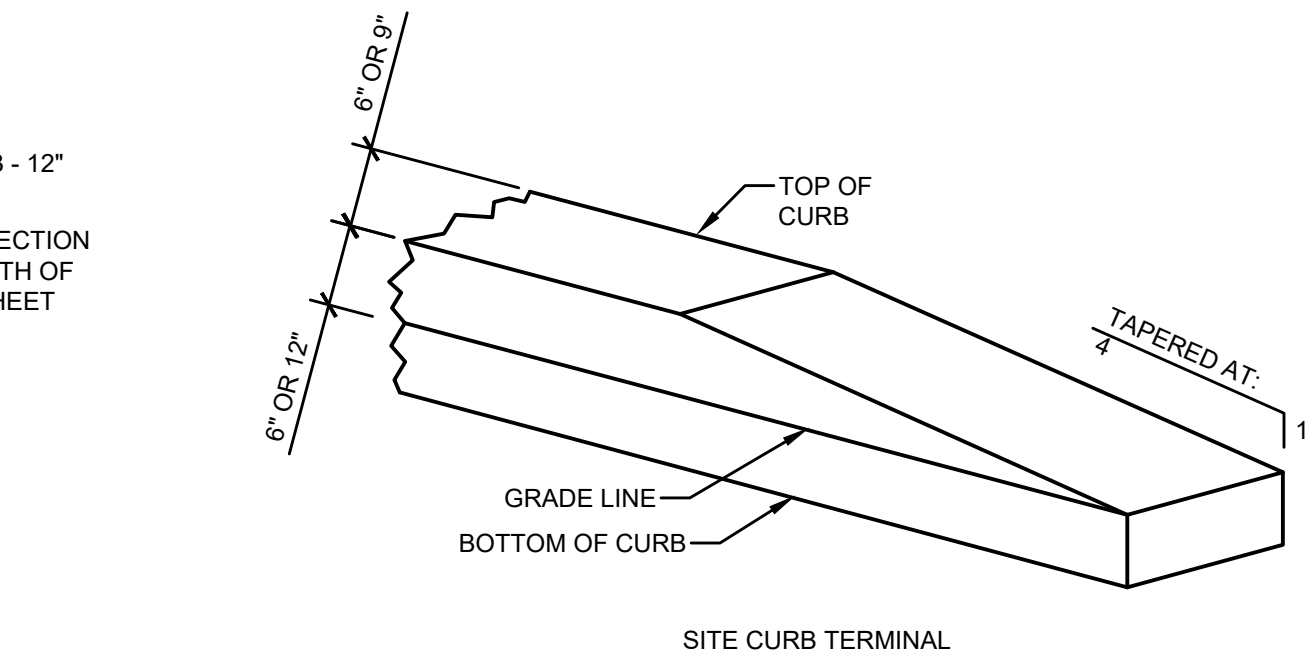
TYPICAL PARKING SPACE STRIPING



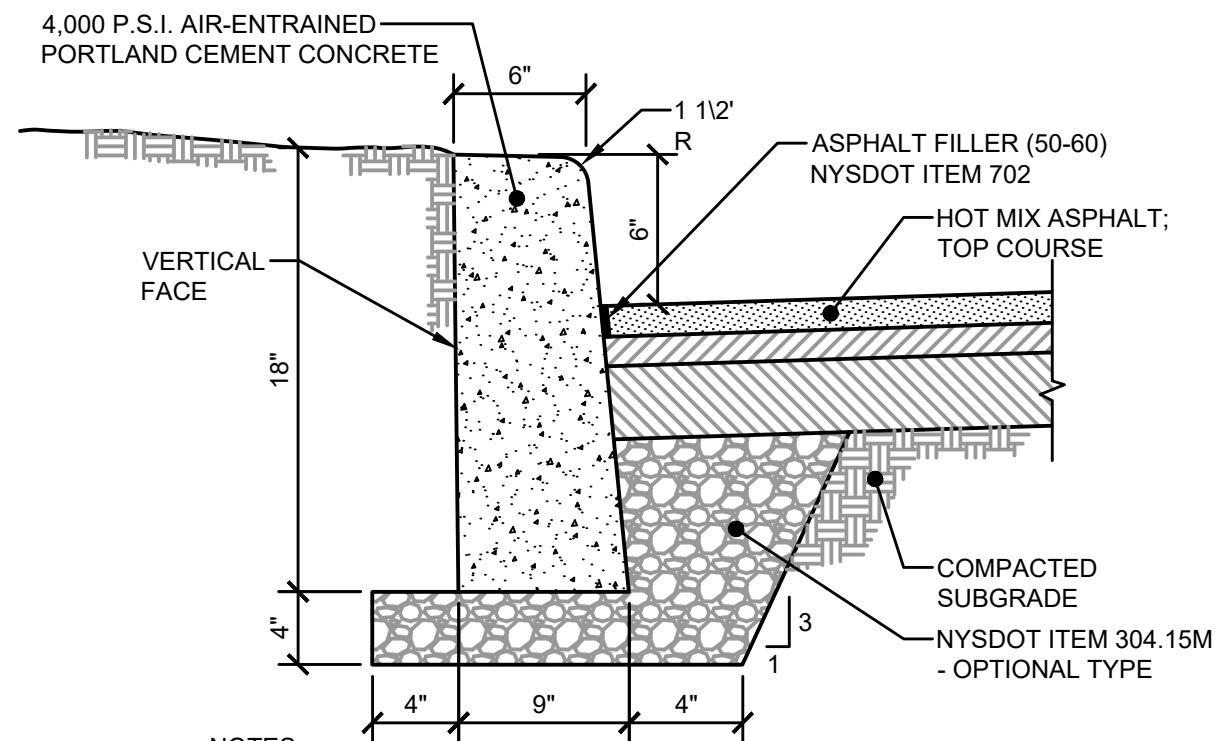
NOTE:

1. PAVEMENT MARKINGS SHALL BE EPOXY REFLECTORIZED AS SPECIFIED IN THE NYSDOT STANDARD SPECIFICATIONS SECTION 685, AND IN CONFORMANCE WITH THE MUTCD.

C
 STRIPING DETAILS
 NOT TO SCALE



SITE CURB TERMINAL

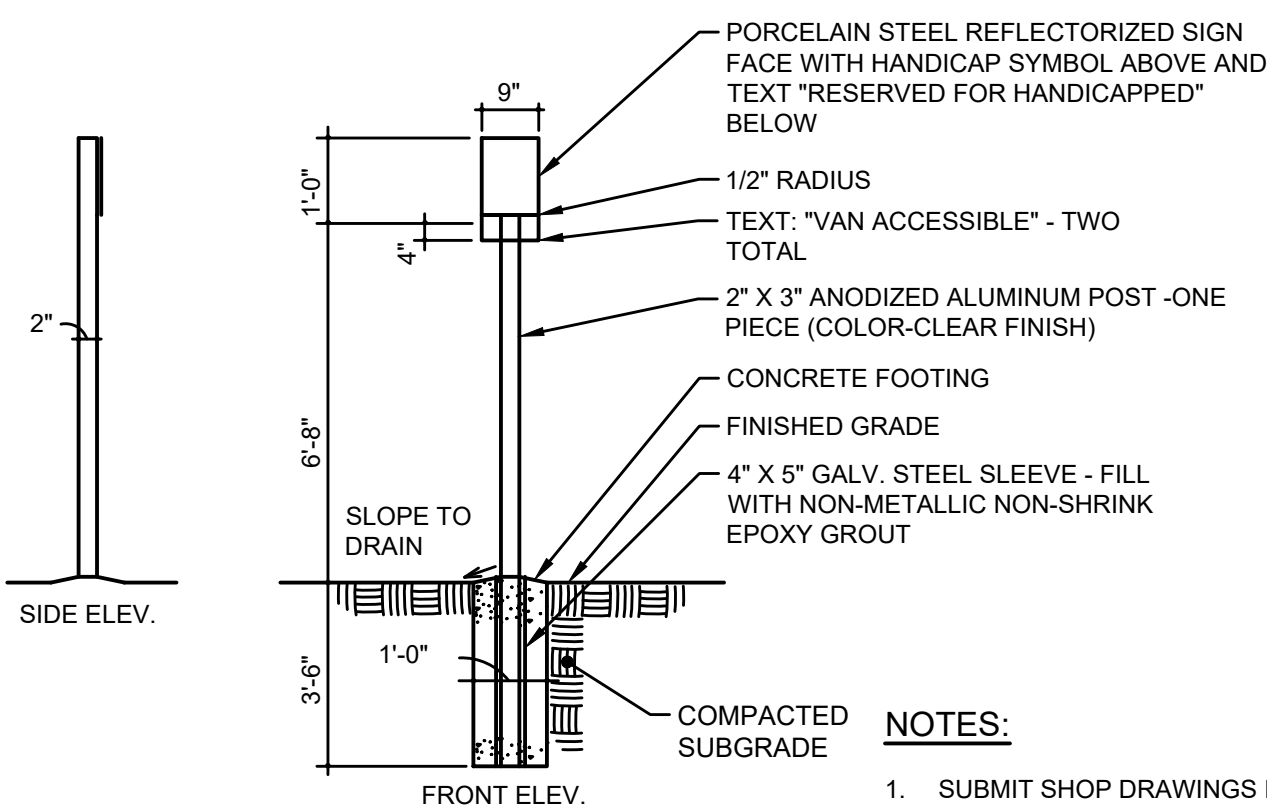


NOTES:

1. CURB SHALL BE CAST IN PLACE; NYSDOT ITEM 609.04 - TYPE B150.
2. EXPANSION JOINTS SHALL BE OF 1/2" PREMOLDED BITUMINOUS JOINT FILLER PLACED AT 12 FOOT INTERVALS, TO FULL DEPTH OF CURB. UPON REMOVAL OF FORMS AND/OR FINAL FINISHING, ALL CONCRETE TO BE SPRAYED WITH WHITE-PIGMENTIC MEMBRANE CURING COMPOUND.

TYPICAL SECTION

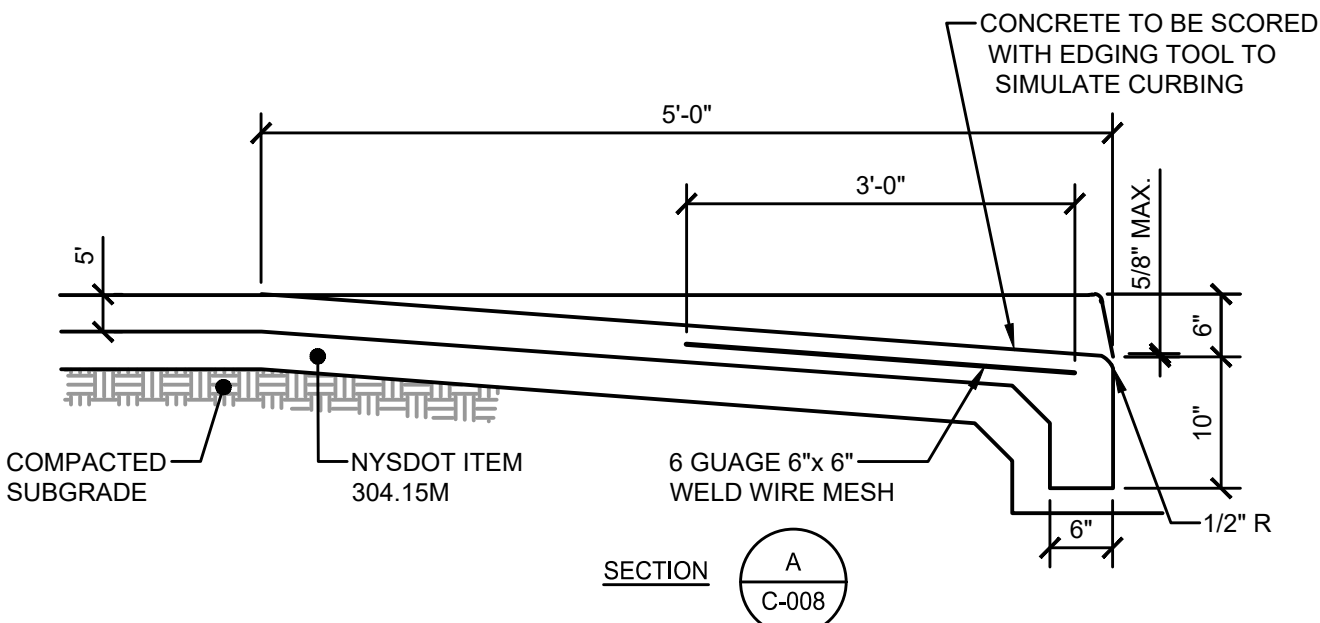
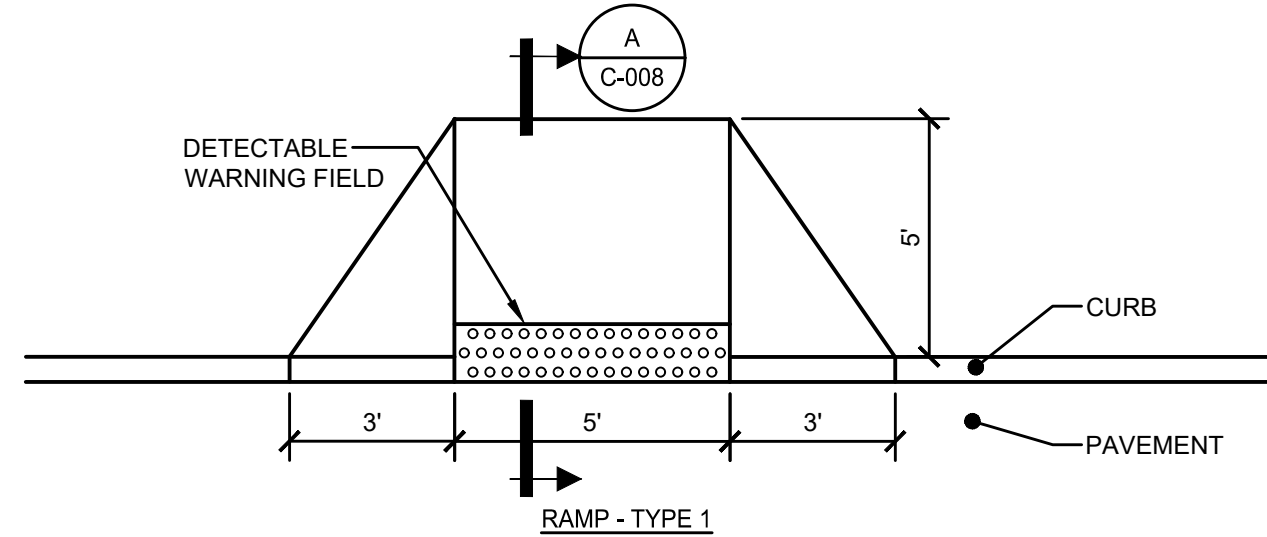
D
 SITE CURBING DETAILS
 NOT TO SCALE



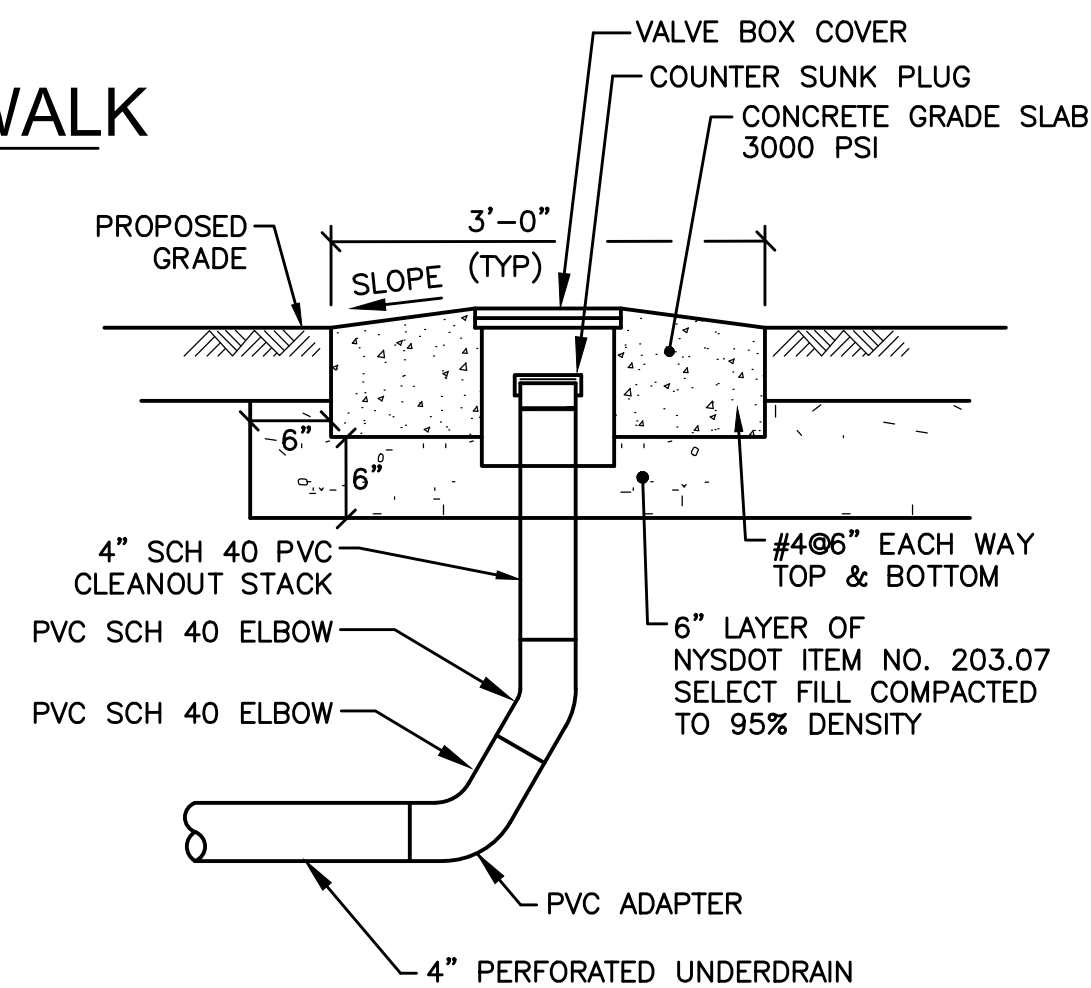
NOTES:

1. SUBMIT SHOP DRAWINGS FOR APPROVAL.
2. SIGN SHALL CONFORM TO THE LATEST ADA REQUIREMENTS.

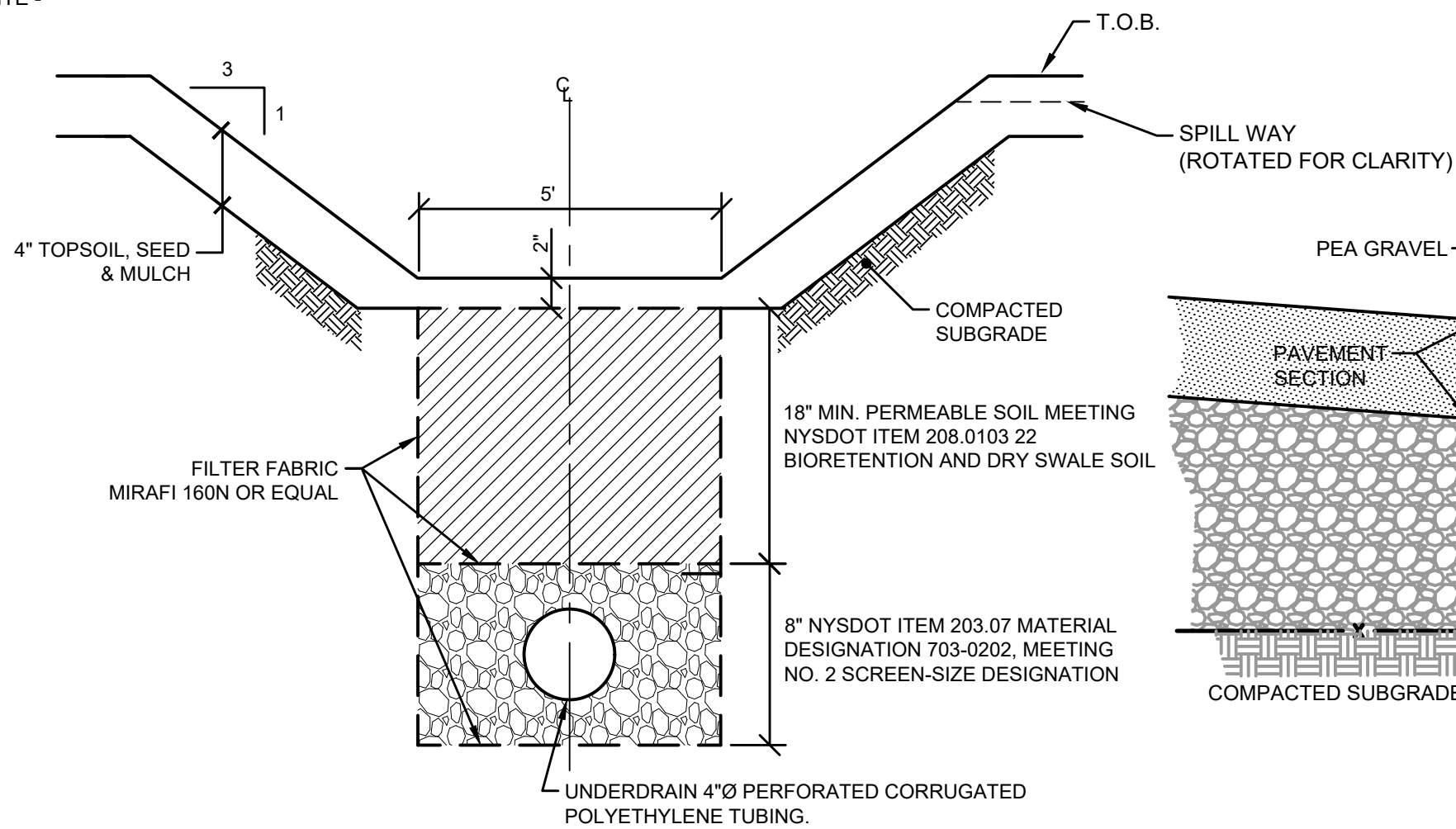
E
 HANDICAP PARKING SIGN
 NOT TO SCALE



F
 HANDICAP ACCESS SIDEWALK
 NOT TO SCALE



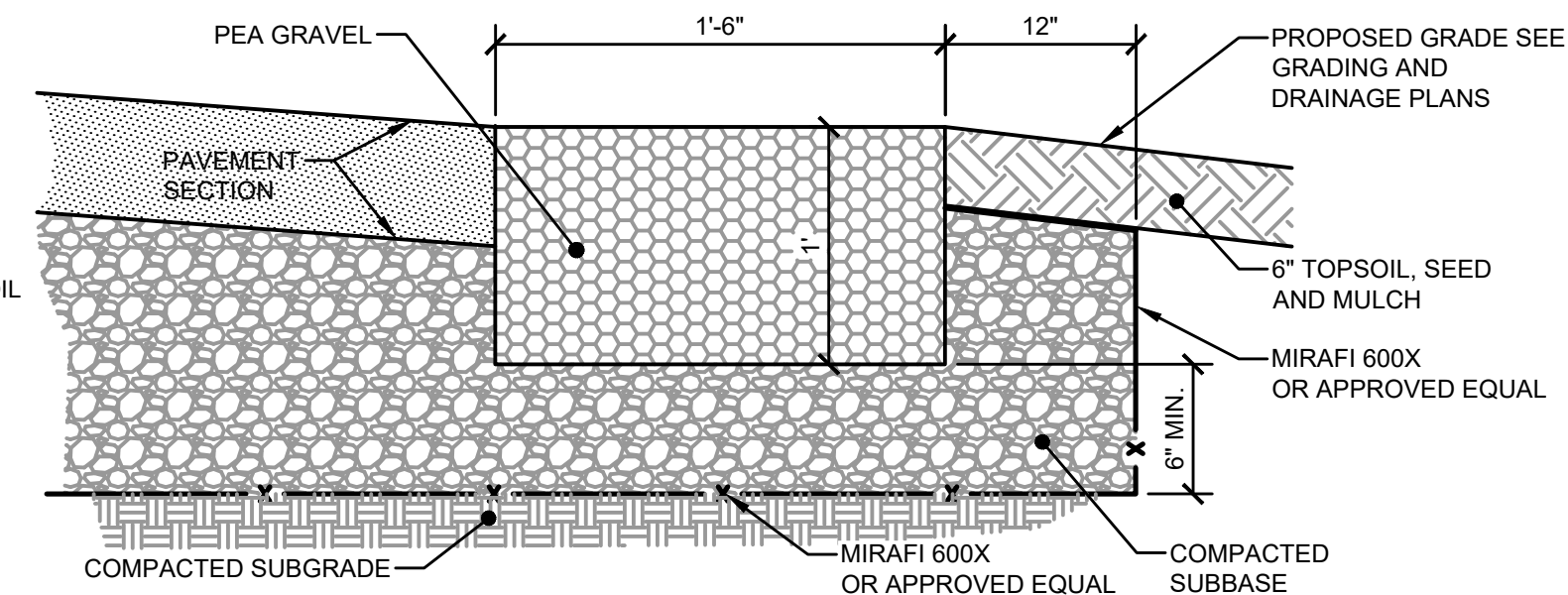
I
 DRY SWALE CLEANOUT
 NOT TO SCALE



NOTE:

1. CLEANOUTS SHALL BE INSTALLED EVERY AT THE START OF EACH RUN PER DETAIL ON THIS SHEET

H
 DRY SWALE DETAIL
 NOT TO SCALE



G
 PEA GRAVEL STRIP DETAIL
 NOT TO SCALE



NO.	DATE	DRAWING RELEASE

MISCELLANEOUS DETAILS

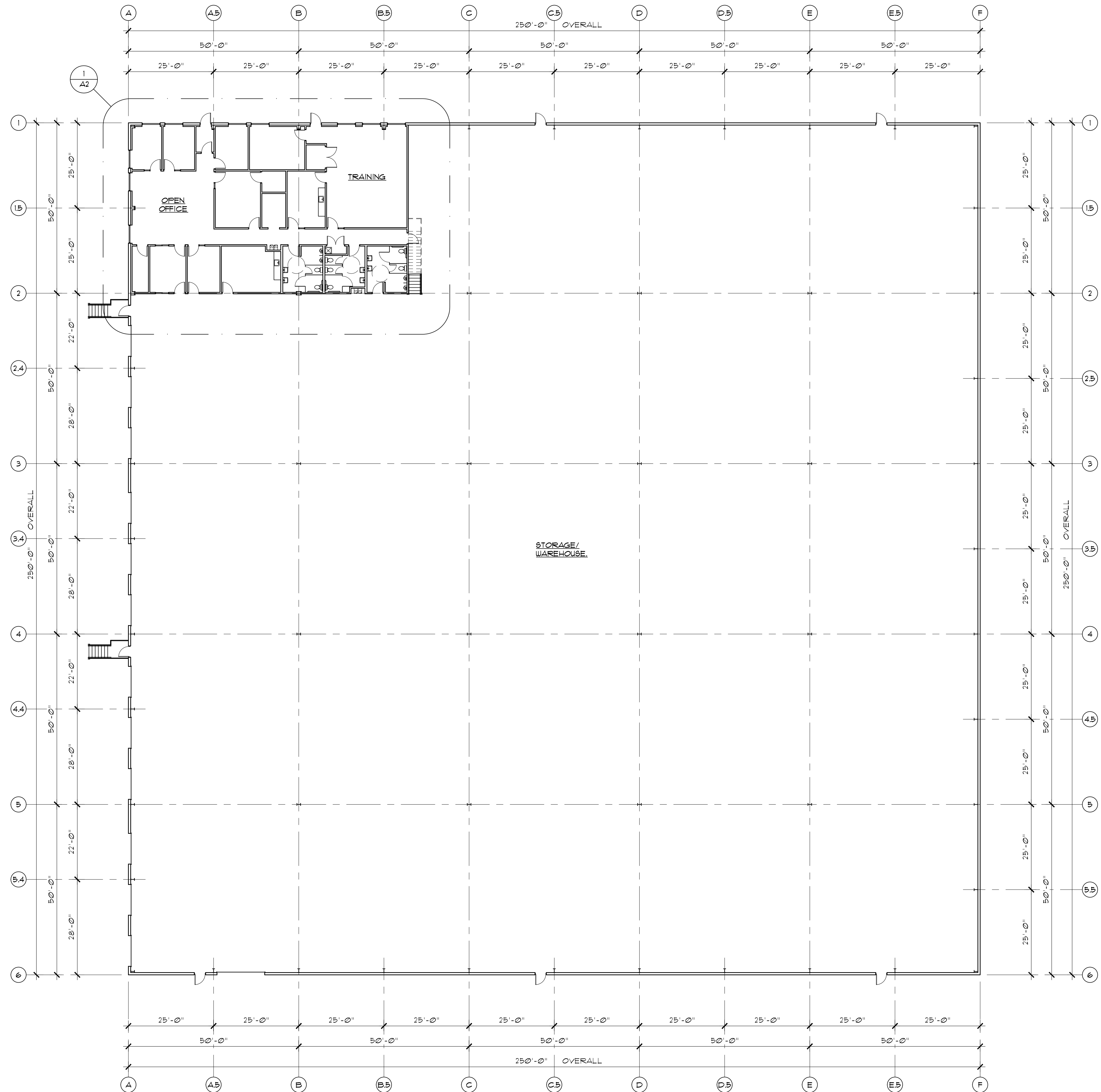
MBL
 ENGINEERING, PLLC

DISTRIBUTION CENTER
 STEWART DRIVE
 TOWN OF CICERO
 ONONDAGA COUNTY

PROJECT #
 21-240

DATE:
 JULY 2021

SHEET #
 C-501



1
A1

PROPOSED FLOOR PLAN
SCALE: 1/16" = 1'-0"



HAN
HANLON ARCHITECTS

1300 UNIVERSITY AVENUE
ROCHESTER, NY 14607
T: 585.223.8440
F: 585.863.6571
WWW.HANLONARCHITECTS.COM

BUILDING INNOVATION GROUP
GENERAL CONTRACTORS
107 Lincoln Parkway
East Rochester, NY

Distribution Center

Stewart Drive
Cicero, New York

REVISED:

PRELIMINARY
DATE: 7-22-21

FLOOR PLAN

DRAWING TITLE:

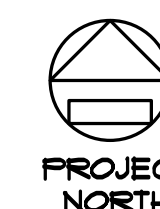
SHEET NO. 1

PROJECT NO. 21-118



1
A2

PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"



REVISED:

PRELIMINARY
DATE: 7-22-21

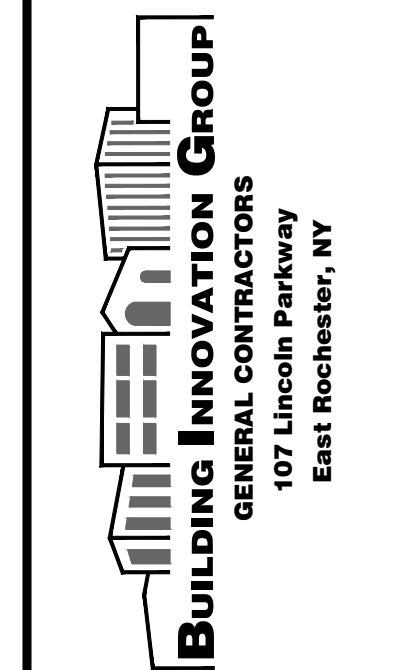
PARTIAL FLOOR PLAN

DRAWING TITLE:

A2

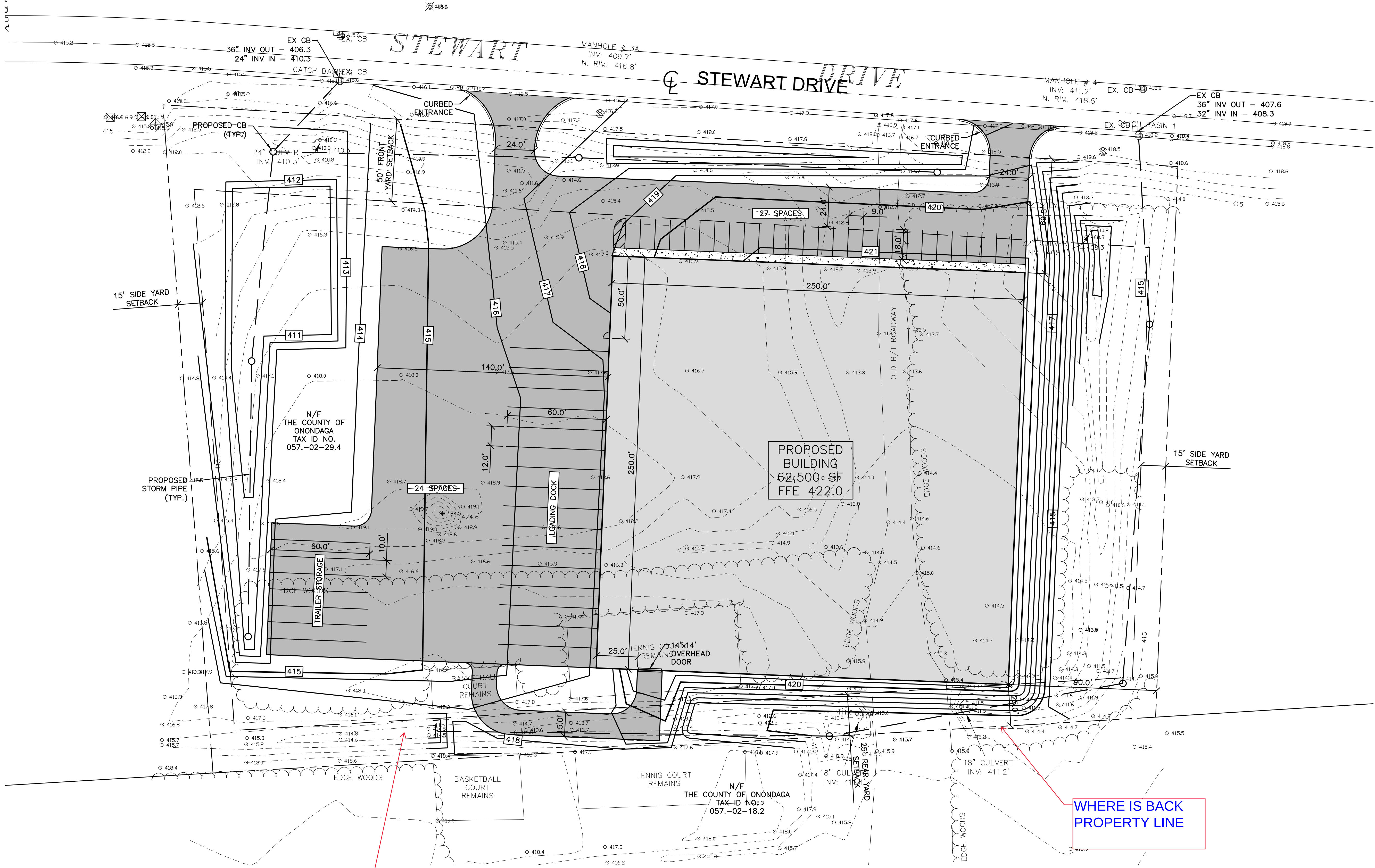
SHEET NO:

PROJECT NO: 21-118



Distribution Center
Stewart Drive
Cicero, New York

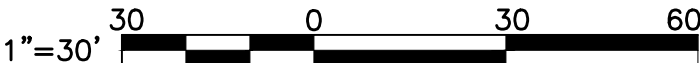




PIPE EX
SWALE

PLAN
SCALE: 1"=30'

WHERE IS BACK
PROPERTY LINE



PRELIMINARY
NOT FOR
CONSTRUCTION
DATE: 07/7/2021

NO.	DATE	DRAWING RELEASE

CONCEPT SITE
LAYOUT PLAN

..\\..\\Templates\\Logo small.jpg

DISTRIBUTION CENTER
STEWART DRIVE
TOWN OF CICERO
ONONDAGA COUNTY

PROJECT #
21-240

DATE:
JULY 2021

SHEET #
C-101

Quantum Cool, LLC
One Websters Landing
Syracuse, New York 13202

December 1, 2021

Onondaga County Industrial Development Agency
333 West Washington Street, Suite 130
Syracuse, New York 13202
ATTN: Executive Director

Re: Quantum Cool, LLC Project – Notice of sale and assignment of rights and obligations

Ladies and Gentlemen:

Pursuant to Section 9.3 of the Lease Agreement dated as of September 1, 2019 (the “Lease Agreement”) by and between the Onondaga County Industrial Development Agency (the “Agency”) and Quantum Cool, LLC (the “Company”), the Company hereby notifies you of its intention to (i) sell the Company Project Facility (as defined in the Lease Agreement) to Kelvin Kool LLC and (ii) assign the Company’s rights and obligations under the Basic Documents (as defined in the Lease Agreement) to Kelvin Kool LLC. Kelvin Kool LLC is wholly-owned by Cryomech, Inc. (the “Sublessee”) and was formed by the Sublessee to acquire and own the Company Project Facility.

If you have any questions or require additional information, please let us know.

Quantum Cool, LLC

By: 6628 Moore Manager, LLC
Its: Manager

By: 
Name: David C. Nutting
Title: Manager