

Onondaga County Industrial Development Agency



Project Summary

3/2/2021

1. Project	Brolex Plank Road, LLC	2. Project Number	3101-21-03A
3. Location	Clay	4. School District	Cicero-North Syracuse School District
5. Tax Parcel(s)	006.-04.18.0	6. Project Type	New Construction
		Village	North Syracuse

7.Total Project Cost	\$	6,375,000.00	8. Total Jobs	2
Land	\$	400,000	8A. Job Retention	0
Site Work	\$	-	8B: Job Creation	2
Building	\$	5,975,000	(Next 5 Years)	
Furniture & Fixtures	\$	-		
Equipment	\$	-		
Equipment Subject to NYS Production Exemption	\$	-		
Engineering/Architecture Fees	\$	-		
Financial Charges	\$	-		
Legal Fees	\$	-		
Other	\$	-		

Cost Benefit Analysis

Brolex Plank Road, LLC

Fiscal Impact (\$)

Estimated Abatement Cost	\$242,250
Sales Tax Abatement	\$204,000
Mortgage Recording Tax Abatement	\$38,250
Real Property Tax Relief	\$0
New Investment	\$9,155,070
PILOT Payments	\$0
Project Wages (10 years)	\$800,000
Construction Wages	\$1,915,320
Employee Benefits (10 years)	\$0
Project Capital Investment	\$6,375,000

Agency Fees \$64,750

Benefit:Cost Ratio

37.79 :1

Project Description

Two 24-unit apartment buildings located on an underutilized 2.3-acre parcel located in the Town of Clay.



**ONONDAGA COUNTY INDUSTRIAL DEVELOPMENT AGENCY
APPLICATION FOR BENEFITS**

1. Fill in all blanks using "none", "not applicable" or "not available". If you have any questions about the way to respond, please call the Onondaga County Industrial Development Agency at 315-435-3770.
2. If providing an estimate put "(est.)" after the figure or answer. If more space is needed to answer any specific question, attach a separate sheet.
3. If the OCIDA Board approves benefits, it is the company's responsibility to obtain and submit all necessary forms and documents. (ST-60, PILOT Agreement)
4. When completed, return this Application by mail or fax to the Agency at the address indicated below. A signed application may also be submitted electronically in PDF format to Nate Stevens at nstevens@ongov.net. **An Application will not be considered by the Agency until the Application fee has been received.**
5. The Agency will not give final approval for this Application until the Agency receives a completed NYS Full Environmental Assessment Form concerning the Project, which is the subject of this Application. The form is available at <http://www.dec.ny.gov/permits/6191.html>.
6. Please note the Public Officers Law declares all records in the possession of the OCIDA (with certain limited exceptions) are open to public inspection and copying. If the Applicant is of the opinion that there are elements of the Project which are in the nature of trade secrets which, if disclosed to the public or otherwise widely disseminated, would cause substantial injury to the Applicant's competitive position, this Applicant must identify such elements in writing and request that such elements be kept confidential. In accordance with Article 6 of the Public Officer's Law, the OCIDA may also redact personal, private, and/or proprietary information from publicly disseminated documents.
7. The Applicant will be required to pay the Agency Application fee and, if accepted as a project of the agency, all administrative and legal fees as stated in Section VI of the Application.
8. A complete application consists of the following 9 items:
 - This Application
 - Local Access Agreement
 - Employment Plan
 - Conflict of Interest
 - A feasibility statement indicating the need for the requested benefits
 - Description of project, Site Plans/Sketches, and Maps
 - NYS Full Environmental Assessment Form
 - A check payable to the Agency in the amount of \$1,000
 - A check payable to Barclay Damon LLP in the amount of \$2,500
9. This Application was adopted by the OCIDA Board on November 19, 2019.

It is the policy of the Agency that any project receiving benefits from the Onondaga County Industrial Development Agency will utilize 100% local contractors and local labor for the construction period of the project unless a waiver is granted in writing by the Agency.

Return to:

Onondaga County Industrial Development Agency
Attn: Nate Stevens
333 W. Washington Street, Suite 130
Syracuse, NY 13202
Phone: 315-435-3770 | Fax: 315-435-3669
nstevens@ongov.net

Section I: Applicant Information

Please answer all questions. Use "None", "Not Applicable" and "See Attached" where necessary.

A) Applicant information-company receiving benefits:

Applicant Name: Brolex Plank Road LLC

Applicant Address: 5912 N Burdick St, East Syracuse, NY 13057

Phone: 315-656-7271 Fax: _____

Website: N/A E-mail: brandon@byoh.biz

Federal ID#: 85-3860190 NAICS: _____

State and Year of Incorporation/Organization: New York 2020

Will a Real Estate Holding Company be utilized to own the Project property/ facility? ☐ Yes ☒ No

What is the name of the Real Estate Holding Company: _____

Federal ID#: _____

State and Year of Incorporation/Organization: _____

List of stockholders, members, or partners of Real Estate Holding Company:

B) Individual Completing Application:

Name: Brandon Jacobson

Title: Managing Member

Address: 5912 N Burdick St., E. Syracuse, NY 13057

Phone: 315-559-0556 Fax: _____

E-mail: brandon@byoh.biz

C) Company Contact (if different from individual completing application):

Name: _____
Title: _____
Address: _____
Phone: _____ Cell Phone: _____
E-mail: _____

D) Company Counsel:

Name of Attorney: Christian J. Danaher
Firm Name: Hancock Estabrook
Address: 1800 AXA Tower, 100 Madison St., Syracuse, NY 13202
Phone: 315-565-4575 Cell Phone: 315-436-4432
E-mail: cdanaher@hancocklaw.com

E) Business Organization (check appropriate category):

☐ Corporation ☐ Partnership
☐ Public Corporation ☐ Joint Venture
☐ Sole Proprietorship ☒ Limited Liability Company

Others (please specify): _____
Year Established: 2020
State in which Organization is established: New York

F) List all stockholders, members, or partners with % of ownership greater than 5% :

Name	% of ownership
<u>Joshua H. Heintz</u>	<u>33.33%</u>
<u>Brandon M. Jacobson</u>	<u>33.33%</u>
<u>Thomas M. Oot</u>	<u>33.33%</u>
_____	_____

G) Applicant Business Description:

Please attach a description of your company's background, products, customers, goods and services.

Estimated % of sales within Onondaga County: 100%

Estimated % of sales outside Onondaga County but within New York State: 0

Estimated % of sales outside New York State but within the U.S.: 0

Estimated % of sales outside the U.S.: 0

(*Percentage to equal 100%)

H) What percentage of your total annual supplies, raw materials and vendor services are purchased from firms in Onondaga County. Include list of vendors, raw material suppliers and percentages for each. Provide supporting documentation including estimated percentages of local purchases. Please attach this information. SEE ADDENDUM "B"

I) Applicant History: If the answer to any of the following is "Yes", please explain below. If necessary, attach additional information.

1. Is the company or management of the Company now a plaintiff or defendant in any civil or criminal litigation? ☐ Yes ☒ No
2. Has any person listed above ever been convicted of a criminal offense (other than a minor traffic violation)? ☐ Yes ☒ No
3. Has any person listed in Section I ever been in receivership or declared bankruptcy? ☐ Yes ☒ No

Please attach any explanations:

J) Has the Project Beneficiary received assistance from OCIDA, SIDA, New York State or the Onondaga Civic Development Corporation in the past? If yes please attach an explanation and please give year, project name, description of benefits and address of project.

☐ Yes ☒ No

Section II: Project Information

- A) Project Location: Location where the investment will take place. If company is moving, the new location should be entered here and the current location should be in Section I.

Address: 444 South Main Street

Legal Address (if different): _____

City: North Syracuse

Village/Town: Clay

Zip Code: 13212

School District: North Syracuse Central SD

Tax Map Parcel ID(s): 006.-04-18.0

Current Assessed Value: 50,633

Sq. Footage of Existing Building: 0

Census Tract: _____

- B) Type (Check all that apply):

☒ New construction

☐ Purchase of machinery and/or equipment

☐ Expansion/Addition to current facilities

☐ Brownfield/Remediated Brownfield

☐ Renovation of existing facility

☐ LEED Certification

☐ Acquisition of existing facility/property

☐ Other:

☐ Demolition and Construction

- C) Please attach a summary of how this project will help your business grow. Will it set the company up for revenue growth? Will it mitigate cost? Will it provide more flexibility?

SEE ADDENDUM "C"

- D) Description of Project: Please provide a detailed narrative of the proposed Project. This narrative should include, but is not limited to:

☒ (i) the size of the Project in square feet and a breakdown of square footage per each intended use;

☒ (ii) the size of the lot upon which the Project sits or is to be constructed;

☒ (iii) the current use of the site and the intended use of the site upon completion of the Project;

☒ (iv) the principal products to be produced and/or the principal activities that will occur on the Project site; and

☒ (v) an indication as to why the Applicant is undertaking the Project and the need for the requested benefits. **Please separately attach the description and any copies of site plans, sketches or maps.**

E) Select Project Type for all end users at Project site (you may check more than one):

**Please check any and all end users as identified below

- | | |
|---|--|
| <input type="checkbox"/> Industrial | <input type="checkbox"/> Bank Office |
| <input type="checkbox"/> Acquisition of Existing Facility | <input type="checkbox"/> Retail |
| <input checked="" type="checkbox"/> Housing | <input type="checkbox"/> Mixed Use |
| <input type="checkbox"/> Equipment Purchase | <input type="checkbox"/> Facility for Aging |
| <input type="checkbox"/> Multi-Tenant | <input type="checkbox"/> Civic Facility (not for profit) |
| <input type="checkbox"/> Commercial | <input type="checkbox"/> Other _____ |

F) For the Agency to consider this Project, please provide the following information:

1. Does the project consist of new construction or expansion or substantial renovation of an existing facility?
☒ Yes ☐ No
2. Will the project create new employment opportunities or retain existing jobs that may otherwise be lost?
☒ Yes ☐ No
3. Does the project beneficiary serve a customer base primarily outside of Onondaga County?
☐ Yes ☒ No

G) Will the completion of the Project result in the removal of an industrial or manufacturing plant of the company from one area of the state to another area of the state OR in the abandonment of one or more plants or facilities of the company located within the state? Please explain if you answer "Yes" by attaching a response.

☐ Yes ☒ No

H) Please attach a description of any compelling circumstances the Agency should be aware of while reviewing this application.

I) Environmental Information

1. Please attach the appropriate Environmental Impact Forms to your application. Here is a link to the SEQR forms:
 - a. <http://www.dec.ny.gov/permits/6191.html>
2. Have any environmental issues been identified on the property?
☐ Yes ☒ No
If yes, please attach an explanation.

Section III: Construction

A) Project Costs and Finances

Description of Costs	Total Budget Amount	% of Total Budget to be Procured in Onondaga County	Total Private Expenditure (should be less than or equal to total budget amount)
Land Acquisition	400.000		\$400.000
Site Work/Demo			
Building Construction & Renovation	5,975,000	100	\$5,975,000
Furniture & Fixtures			
Equipment			
Equipment Subject to NYS Production Sales Tax			
Engineering/Architect			
Financial Charges			
Legal			
Other			
Management/Developer Fees			
Total Project Cost	6.375.000	100	\$6.375.000

Note: Do not include OCIDA fees, OCIDA application fees or OCIDA legal fees as part of the Total Project Cost. You may attach a separate chart if needed.

B) TOTAL Capital Costs \$ 6,375,000

Project refinancing: estimated amount
(for refinancing of existing debt only) \$ N/A

Sources of Funds for Project Costs:

- | | |
|---|---------------------|
| 1. Bank Financing | \$ <u>5,100,000</u> |
| 2. Equity (excluding equity that is attributed to grants/tax credits) | \$ <u>1,275,000</u> |
| 3. Tax Exempt Bond Issuance (if applicable) | \$ <u>N/A</u> |
| 4. Taxable Bond Issuance (if applicable) | \$ <u>N/A</u> |

5. Public Sources (Include sum total of all state and federal grants and tax credits) \$ _____

-Identify each state and federal grant/credit:

_____ \$ _____
 _____ \$ _____
 _____ \$ _____

6. Total Sources of Funds for Project Costs \$ 6,375,000

C) Employment and Payroll Information

*Full Time Equivalent (FTE) is defined as one employee working no less than 40 hours per week or two or more employees together working a total of 40 hours per week.

1. Are there people currently employed at the project site?
☐ Yes ☒ No If yes, provide number of FTE jobs at the facility: _____

2. Complete the following:

Estimate the number of FTE jobs to be retained as a result of this Project:	0
Estimate the number of construction jobs to be created by this Project:	44
Estimate the average length of construction jobs to be created (months):	12
Current annual payroll at facility:	0
Average annual growth rate of wages:	0
Please list, if any, benefits that will be available to either full and/or part time employees:	Health, Dental, Disability, 401k
Average annual benefit paid by the company (\$ or % salary) per FTE job:	\$7,500
Average growth rate of benefit cost:	10%
Amount or percent of wage employees pay for benefits:	0% - Employer paid for individual
Provide an estimate of the number of residents in the Economic Development Region (Onondaga, Madison, Cayuga, Oneida, Oswego, and Cortland Counties) to fill new FTE jobs:	2

D) New Employment Benefits

- i. Complete the following chart indicating the number of FTE jobs presently employed at the Project and the number of FTE jobs that will be created at the Project site at the end of the first, second, third, fourth and fifth years after the Project is completed. Jobs should be listed by title of category (see below), including FTE independent contractors or employees of independent contractors that work at the Project location. Do not include construction workers.
- ii. Feel free to include additional information or a substitute chart if you think additional material would add clarity.

Current & Planned Full Time Occupations (Job Titles)	Salary (Annual or Hourly)	Current Number of FTEs	Estimated Number of FTE Jobs added each year after project				
			Year 1	Year 2	Year 3	Year 4	Year 5
Maintenance	\$40,000	0	1				
Real Estate Rental Agen	\$40,000	0	1				
Job Creation Subtotal			2				

For purposes of completing the chart, please list the job titles that will be increasing in number. If possible, please attach a brief description that outlines what each job entails.

If you prefer, you may attach a job chart of your own that outlines the job growth projections regarding the project.

E) Financial Assistance sought (estimated values):

- ☐ Real Property Tax Abatement (PILOT): _____
- ☒ Mortgage Recording Tax Exemption (.75% of amount mortgaged): 38,250.00
- ☒ Sales and Use Tax Exemption (4% Local, 4% State): 204,000
- ☐ Tax Exempt Bond Financing (Amount Requested): _____
- ☐ Taxable Bond Financing (Amount Requested): _____

F) Mortgage Recording Tax Exemption Benefit Calculator: Amount of mortgage that would be subject to mortgage recording tax:

Mortgage Amount (include sum total of construction/permanent/
bridge financing): \$ 5,100,000

Estimated Mortgage Recording Tax Exemption Benefit (product of
mortgage amount as indicated above, multiplied by .0075): \$ 38,250

G) Sales and Use Tax Benefit Calculator: Gross amount of costs for goods and services that are subject to State and local Sales and US tax – said amount to benefit from the Agency's Sales and Use Tax exemption benefit:

\$ 2,550,000

Estimated State and local Sales and Use Tax Benefit (product of 8% multiplied by the figure, above) (This should match the amount in section "E" on this page, this calculation only exists to help you with your estimate):

\$ 204,000

Section IV: Estimate of Real Property Tax Abatement Benefits

Section IV of this Application will be: (i) completed by IDA Staff based upon information contained within the Application, and (ii) provided to the Applicant for ultimate inclusion as part of this completed Application prior to the completed application being provided to the OCIDA Board.

A) PILOTS Estimate Table Worksheet

OCIDA estimate of current value	
New construction and renovation costs	
OCIDA estimate of increase in value	
OCIDA estimated value of completed project	
OCIDA estimate of taxes that would have been collected if the project did not occur	
Scheduled PILOT payments	

PILOT Year	Exemption %	County PILOT Amount	Local PILOT Amount	School PILOT Amount	Total PILOT	Full Tax Payment w/o PILOT	Net Exemption
1	100						
2	90						
3	80						
4	70						
5	60						
6	50						
7	40						
8	30						
9	20						
10	10						
TOTAL							

Estimates provided are based on current property tax rates and assessment value (current as of date of application submission) and have been calculated by IDA staff

Section V: Local Access Policy Agreement

In absence of a waiver permitting otherwise, every project seeking the assistance of the Onondaga County Industrial Development Agency (Agency) must use local general contractors, sub-contractors, and labor for one-hundred percent (100%) of the construction of new, expanded, or renovated facilities. The project's construction or project manager need not be a local company.

Noncompliance may result in the revocation and/or recapture of all benefits extended to the project by the Agency. Local Labor is defined as laborers permanently residing in the State of New York counties of Cayuga, Cortland, Herkimer, Jefferson, Madison, Oneida, Onondaga, Oswego, Tompkins, and Wayne. Local (General/Sub) Contractor is defined as a contractor operating a permanent office in the State of New York counties of Cayuga, Cortland, Herkimer, Jefferson, Madison, Oneida, Onondaga, Oswego, Tompkins and Wayne. The Agency may determine on a case-by-case basis to waive the Local Access Policy for a project or for a portion of a project where consideration of warranty issues, necessity of specialized skills, significant cost differentials between local and non-local services or other compelling circumstances exist. The procedure to address a local labor waiver can be found in the OCIDA handbook, which is available upon request.

Prior to issuance of any NYS Tax & Finance ST-60 forms, the Applicant must submit a **Contractor Status Report to the Agency.**

In consideration of the extension of financial assistance by the Agency _____ (the Company) understands the Local Access Policy and agrees to complete Appendix C of the Agency's application at the time of the application to the Agency and as part of a request to extend the valid date of the Agency's tax-exempt certificate for the Project. The Company understands that an Agency tax-exempt certificate is typically valid for 12 months from the effective date of the project inducement and extended thereafter upon request by the Company. The Company further understands that any request for a waiver to this policy must be submitted in writing and approved by the Agency.

I agree to the conditions of this agreement and certify all information provided regarding the construction and employment activities for the project as of _____ (date).

Company: Brolex Plank Road LLC

Representative for Contract: Brandon M. Jacobson

Address: 5912 N. Burdick St. City: E. Syracuse State: NY Zip: 13057

Phone: 315-559-0556 Email: brandon@byoh.biz

Project Address: 444 South Main St City: North Syracuse State: NY Zip: 13212

General Contractor: Brolex Plank Road LLC

Contact Person: Brandon M. Jacobson

Address: 5912 N. Burdick St. City: E. Syracuse State: NY Zip: 13057

Phone: 315-559-0556 Email: brandon@byoh.biz

Authorized Representative: Brandon M. Jacobson Title: Managing Member

Signature: _____

Section VI: Agency Fee Schedule

Payment Terms:

Application & Processing Fee (payable at the time of application):	\$1,000
Legal Deposit (payable at the time of application):	\$2,500
Agency Fee for Bond Projects:	Payable at Closing
Agency and Legal Fees for all other projects:	Due and Payable at Inducement

*** A sales tax certificate (ST-60) will not be issued until the Agency Fee is Paid in Full**

Agency Fees: The project cost is the Total Project Cost from section III A

<u>Benefit Sought</u>	<u>Fee Charged</u>
Mortgage Recording Tax and/or Sales Tax exemptions:	0.01 X the project cost
Additional Fee for PILOT Agreement Projects:	0.0025 X the project cost
Fee for bond financing, refinancing & refunding:	0.0025 X the project cost

Note: For Manufacturing Projects under \$10 million the fee is reduced by: 0.0025 X the project cost

Agency Legal Fees: The project cost is the Total Project Cost from section III A

Fee for first \$20 million:	0.0025 of the project cost
Fee for expenses above \$20 million:	0.00125 of the project cost

In addition to the foregoing, Applicants are responsible for payment of all costs and expenses incurred by OCIDA in connection with application or Project including without limitation publication, copying costs, SEQRA compliance and fees and costs to OCIDA's attorneys, engineers, and consultants. OCIDA reserves the right to require a deposit to cover anticipated costs. Application fees are payable at time application/request is submitted. All fees are non-refundable. Applicants for bond transactions are responsible for payment of a Bond Issuance Charge payable to the State of New York. Applicants are also responsible for payment of post-closing fees and costs associated with the appointment of additional agents.

OCIDA reserves the right to modify this schedule at any time and assess fees and charges in connection with other transactions such as grants of easement or lease or sale of OCIDA-owned property.

Section VII: Recapture of Tax Abatement/Exemptions

Information to be Provided by Companies: Each Company agrees that to receive benefits from the Agency it must, whenever requested by the Agency or required under applicable statutes or project documents, provide and certify or cause to be provided and certified such information concerning the Company, its finances, its employees and other topics which shall, from time to time, be necessary or appropriate, including but not limited to, such information as to enable the Agency to make any reports required by law or governmental regulation.

Recapture of Benefits: It is the policy of the Agency to recapture the value of a PILOT, any sales and use tax exemption, and mortgage recording tax exemption in accordance with the Laws of the State and the provisions contained herein. Before receiving benefits, the Company must attest in writing to its understanding of, and agreement to, the recapture provisions contained in State Law and herein. To the extent permitted by State law, the recapture provisions contained herein may be modified from time to time by the Agency at its sole discretion.

Recapture of a PILOT, Sales Tax and the Mortgage Recording Tax Exemptions: If the number of full time equivalent jobs to be maintained or created in connection with a project falls below 75% of the number projected in the Company's application to the Agency, or if there are material violations of the project agreements, then the value of the property tax, sales and use tax and mortgage recording tax benefits extended to the project by the Agency may be subject to recapture. When deciding whether or not to recapture benefits and the amount of such recapture, the Agency may consider the potential future benefit of the business to the community.

Recapture Payment: The recapture payment paid by the Company to the Agency shall be determined (1) by the difference between any PILOT payments made by the Company and the property taxes that would have been paid by the Company if the property were not under the supervision, jurisdiction or control of the Agency, (2) the value of any mortgage recording tax exemption, if awarded to the Company and (3) the amount of sales and use tax that would have been paid if an exemption was not granted.

Recapture of the PILOT, Sales Tax or Mortgage Recording Tax: The Recapture Schedule for a Payment in Lieu of Tax Agreement, Sales Tax or the Mortgage Recording Tax is as follows:

Time from Project Completion	Tax Savings Recaptured
1 Year	80%
2 Years	60%
3 Years	40%
4 Years	20%
5 Years	10%

Distribution of the Recapture Payment: Any funds recaptured as a result of the recapture payment shall be distributed to the affected taxing jurisdictions in the same proportion as if the payments were paid or owed by the Company on the date of recapture.

Additional Conditions for the Recapture of Sales and Use Tax: As of April 1, 2013, New York State law requires Industrial Development Agencies to recapture sales tax benefits where:

- A project is not entitled to receive the benefits;
 - Exemptions received exceed the amount authorized by the Agency;
 - Exemptions are claimed by the Project for unauthorized property or services; or
 - A project fails to use property in the manner required by its IDA agreements.
1. **Distribution of Sales and Use Tax.** Project operators must cooperate with the Agency in its effort to recapture all sales and use tax benefits received by the Company by promptly paying the recapture amount as determined by the Agency. The amount to be recaptured will be dictated by State Law or this UTEP Policy, which ever may be applicable. The Agency shall remit the recaptured sales and use tax benefits to the State within 30 days of receipt.
 2. **Compliance Report.** Annually, the Agency will file an annual compliance report with the State of New York detailing its recapture terms and its activities to recapture benefits, including any attempt to recapture benefits from an Agency project.

A "Full Time Permanent Employee" shall mean

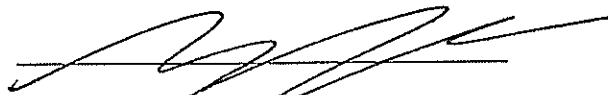
1. A full time, permanent, private sector employee on the Company's payroll, who has worked at the project location for a minimum of thirty hours per week for not less than four consecutive weeks and who is entitled to receive the usual and customary fringe benefits extended by Company to other employees with comparable rank, duties and hours; or
2. Up to three part time, permanent, private-sector employees on Company's payroll, who have worked at the project location for a combined minimum of thirty hours per week for not less than four consecutive weeks and who are entitled to receive the usual and customary fringe benefits extended by Company to other employees with comparable rank, duties and hours.

I have read the foregoing and agree to comply with all the terms and conditions contained therein as well as policies of the Onondaga County Industrial Agency.

Name of Applicant Company

Brolex Plank Road LLC

Signature of Officer or Authorized Representative:



Name & Title of Officer or Authorized Representative: Brandon M. Jacobson, Managing Me

Date: 02/23/21

Section VIII: Employment Plan

Jobs Listings: In accordance with §858-b(2) of the New York General Municipal Law, the Applicant understands and agrees that if the Project receives any Financial Assistance from the Agency, except as otherwise provided by collective bargaining agreements, new employment opportunities created as a result of the Project will be listed with the New York State Department of Labor Business Services and with the administrative entity of the service delivery area created by the Workforce Innovation and Opportunity Act of 2014 in which the Project is located. In Onondaga County, please contact CNY Works. Additionally, the applicant is encouraged to review the services provided by JOBSPlus! for candidate matching services.

Are the employees of your company currently covered by a collective bargaining agreement?

☐ Yes

☒ No

If yes, name and location: _____

Is the labor pool in Onondaga County and/or the CNY Economic Development Region adequate to fill new positions?

☒ Yes

☐ No

Enter Company Name in three (3) places below and sign by an authorized company officer:

In consideration of the benefits provided by the Onondaga County Industrial Development Agency (OCIDA), Brolex Plank Road LLC, project beneficiary, also agrees to report to OCIDA on the number of new employment opportunities created in connection with industrial or commercial projects financed by the proceeds of such benefits to be listed with the New York State Department of Labor Business Services and CNY Works.

Brolex Plank Road LLC, project beneficiary, also agrees to report to OCIDA on or before March 1 of each year the status of employment opportunities filed with the New York State Department of Labor Business Services, including the number of new employment opportunities created, the number listed, and the number filled for the year ending the prior December 31.

Brolex Plank Road LLC, project beneficiary, further agrees that, to the extent practicable and feasible, and subject to the requirements of any existing collective bargaining agreement, the project beneficiary shall fill at least 10% of new employment opportunities with persons eligible for service under the Workforce Innovation and Opportunity Act of 2014.

Name of Applicant Company: Brolex Plank Road LLC

Signature of Officer or Authorized Representative: _____

Name & Title of Officer or Authorized Representative: Brandon M. Jacobson, Managing Meml

Date: 02/23/21

NYS Department of Labor:
Roy Jewell
Associate Business Service Representative
450 South Salina Street, Syracuse, NY 13202 315-479-3362
roy.jewell@labor.ny.gov
www.labor.ny.gov

CNY Works
Chris Kennedy
Business Development Specialist
960 James Street, Syracuse, NY 13203
315-477-6974
ckennedy@cnyworks.com
www.cnyworks.com

Section IX: Conflict of Interest

Agency Board Members

1. Patrick Hogan
2. Steve Morgan
3. Victor Ianno
4. Sue Stanczyk
5. Kevin Ryan
6. Janice Herzog
7. Fanny Villarreal

Agency Officers/Staff

1. Robert M. Petrovich
2. Nathaniel Stevens
3. Nancy Lowery
4. Karen Doster
5. Chris Cox

Agency Legal Counsel & Auditor

1. Jeffrey Davis, Esq., Barclay Damon LLP
2. Amanda Mirabito, Esq., Barclay Damon LLP
3. Michael G. Lisson, CPA, Grossman St. Amour Certified Public Accountants PLLC

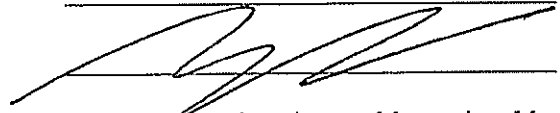
The Applicant has received from the Agency a list of members, officers and staff of the Agency. To the best of my knowledge, no member, officer or employee of the Agency has an interest, whether direct or indirect, in any transaction contemplated by this Application, except as hereinafter described:

SEE ADDENDUM "A"

Name of Applicant Company

Brolex Plank Road LLC

Signature of Officer or Authorized Representative:



Name & Title of Officer or Authorized Representative:

Brandon M. Jacobson, Managing Me

Date: 02/23/21

Section X: Representations, Certifications, and Indemnification

Brandon M. Jacobson (Name of CEO or other authorized representative of Applicant) confirms and says that he/she is the Managin Member (title) of Brolex Plank Road LLC (name of corporation or other entity) named in the attached Application (the "Applicant"), that he/she has read the foregoing Application and knows the contents thereof, and hereby represents, understands, and otherwise agrees with the Agency and as follows:

- A. First Consideration for Employment:** In accordance with §858-b (2) of the New York General Municipal Law, the Applicant understands and agrees that if the Project receives any Financial Assistance from the Agency, except as otherwise provided by collective bargaining agreements, where practicable, the Applicant will first consider persons eligible to participate in WIA programs who shall be referred by the CNY Works for new employment opportunities created as a result of the Project.
- B. Other NYS Facilities:** In accordance with §862 (1) of the New York General Municipal Law, the Applicant understands and agrees that projects which will result in the removal of an industrial or manufacturing plant of the project occupant from one area of the state to another area of the state or in the abandonment of one or more plants or facilities of the project occupant within the state is ineligible for Agency Financial Assistance, unless otherwise approved by the Agency as reasonably necessary to preserve the competitive position of the project in its respective industry or is reasonably necessary.
- C. Annual Sales Tax Filings:** In accordance with §874(8) of the New York General Municipal Law, the Applicant understands and agrees that if the Project receives any sales tax exemptions as part of the Financial Assistance from the Agency, the Applicant agrees to file, or cause to be filed, with the New York State Department of Taxation and Finance, the annual form prescribed by the Department of Taxation and Finance, describing the value of all sales tax exemptions claimed by the Applicant and all consultants or subcontractors retained by the Applicant.
- D. Outstanding Bonds:** The Applicant understands and agrees to provide on an annual basis any information regarding bonds, if any, issued by the Agency for the project that is requested by the Comptroller of the State of New York.
- E. Employment Reports:** The Applicant understands and agrees that, if the Project receives any financial assistance from the Agency, the Applicant agrees to file with the Agency, at least annually or as otherwise required by the Agency, reports regarding the number of people employed at the project site, salary levels, contractor utilization and such other information (collectively, "Employment Reports") that may be required from time to time on such appropriate forms as designated by the Agency. Failure to provide Employment Reports within 30 days of an Agency request shall be an Event of Default under the PILOT Agreement between the Agency and Applicant and, if applicable, an Event of Default under the Agent Agreement between the Agency and Applicant. In addition, a Notice of Failure to provide the Agency with an Employment Report may be reported to Agency board members, with said report being an agenda item subject to the open

meetings law.

- F. Absence of Conflicts of Interest:** The Applicant has received from the Agency a list of the members, officers and employees of the Agency. No member, officer or employee of the Agency has an interest, whether direct or indirect in any transaction contemplated by this Application, except as hereinafter described in Section X.
- G. Compliance:** The Applicant understands and agrees that it is in substantial compliance with applicable local, state, and federal tax, worker protection, and environmental laws, rules, and regulations.
- H.** The Applicant understands and agrees that the provisions of Section 862(1) of the New York General Municipal Law, as provided below, will not be violated if financial assistance is provided for the proposed Project:

§ 862. Restrictions on funds of the Agency. (1) No funds of the Agency shall be used in respect of any project if the completion thereof would result in the removal of an industrial or manufacturing plant of the project occupant from one area of the state to another area of the state or in the abandonment of one or more plants or facilities of the project occupant located within the state, provided, however, that neither restriction shall apply if the agency shall determine on the basis of the application before it that the project is reasonably necessary to discourage the project occupant from removing such other plant or facility to a location outside the state or is reasonably necessary to preserve the competitive position of the project occupant in its respective industry.

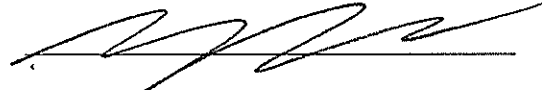
- I.** The Applicant confirms and acknowledges that the owner, occupant or operator receiving financial assistance for the proposed Project is in substantial compliance with applicable local, state, and federal tax, worker protection and environmental laws, rules and regulations.
- J.** The Applicant confirms and acknowledges that the submission of any knowingly false or knowingly misleading information may lead to the immediate termination of any financial assistance and the reimbursement of an amount equal to all or part of any tax exemption claimed by reason of the Agency's involvement in the Project.
- K.** The Applicant confirms and hereby acknowledges that as of the date of this Application, the Applicant is in substantial compliance with all provisions of Article 18-A of the New York General Municipal Law, including, but not limited to, the provision of Section 859-a and Section 862(1) of the New York General Municipal Law.
- L.** The Applicant and the individual executing this Application on behalf of Applicant acknowledge that the Agency and its counsel will rely on the representations and covenants made in this Application when acting hereon and hereby represents that the statements made herein do not contain any untrue statement of a material fact and do not omit to state a material fact necessary to make the statement contained herein not misleading.

- M. The OCIDA has the right to request and inspect supporting documentation regarding attestations made on this application.
- N. **Hold Harmless Agreement:** Applicant hereby releases Onondaga County Industrial Development Agency and the members, officers, servants, agents and employees thereof (the "Agency") from, agrees that the Agency shall not be liable for, and agrees to indemnify, defend and hold the Agency harmless from and against any and all liability arising from or expense incurred by: (A) the Agency's examination and processing of, and action pursuant to or upon, the attached Application, regardless of whether or not the Application or the Project described therein or the tax-exemptions and other assistance requested therein are favorably acted upon by the Agency; (B) the Agency's acquisition, construction, and/or installation of the Project described therein and (C) any further action taken by the Agency with respect to the Project, including without limiting the generality of the foregoing, all cause of action and attorney's fees and any other expenses incurred in defending any suits or action which may arise as a result of any of the foregoing. If, for any reason, the Applicant fails to conclude or consummate necessary negotiations, or fails, within a reasonable or specified period of time, to take reasonable, proper or requested action, or withdraws, abandons, cancels or neglects the Application, or if the Agency or the Applicant are unable to reach final agreement with respect to the Project, then, and in the event, upon presentation of an invoice itemizing the same, the Applicant shall pay to the Agency, its agents or assigns, all costs incurred by the Agency in the process of the Application, including attorney's fees, if any.

Name of Applicant Company

Brolex Plank Road LLC

Signature of Officer or Authorized Representative:



Name & Title of Officer or Authorized Representative:

Brandon M. Jacobson

Date: 02/23/21

STATE OF NEW YORK)

COUNTY OF ONONDAGA)ss.;

Brandon M. Jacobson, being first duly sworn, deposes and says:

1. That I am the Managing Member (Corporate Officer) of Brolex Plank Road LLC (Applicant) and that I am duly authorized on behalf of the Applicant to bind the Applicant.
2. That I have read and attached Application, I Know the contents thereof, and that to the best of my knowledge and belief, this Application and the contents of this Application are true, accurate and complete

(Signature of Officer)

Subscribed and affirmed to me under penalties of
perjury this 23rd day of February, 2021.

Ann M. Oot

(Notary Public)

ANN M OOT
NOTARY PUBLIC State of New York
Onondaga County
Lic. #01004965138
Comm. Exp. 04/16/ 2022

End of Application

Onondaga County Industrial Development Agency Application for Benefits

Addendum A

Brolex Plank Road, LLC currently has a conflict of interest that involves a familial relationship between a member of the OCIDA Board of Directors and a member of Brolex Properties, LLC that must be disclosed to ensure the determination of the Brolex Properties, LLC Application is not compromised.

BROLEX PLANK ROAD, LLC

ADDENDUM B – SECTION I, PART H

H). What percentage of your total annual supplies, raw materials and vendor services are purchased from firms in Onondaga County. Include list of vendors, raw material suppliers and percentages for each. Provide supporting documentation including estimated percentages of local purchases.

It is anticipated that 100% of our supplies, raw materials, and vendor services will be purchased from companies within Onondaga County. Although Brolex Plank Road, LLC does not have fully executed subcontractor agreements outlining the specific dollar amounts at this stage of the project the list of anticipated companies is as follows:

Brolex Enterprises – Total site development and excavation work - \$328,250.00
E. Syracuse, NY

D.I.G. Construction – Foundation and masonry - \$134,500.00
Fabius, NY

New Edge Electric, LLC – Electrical work - \$346,300.00
E. Syracuse, NY

Real Property Development, LLC – Walkways, Sidewalks and Curbing - \$85,066.00
E. Syracuse, NY

Kebo Insulation, LLC – Installation of Insulation - \$139,060.00
E. Syracuse, NY

Materials Direct, LLC – Materials supply
E. Syracuse, NY

WJ Rock Painting & Drywall – Sheetrock and Painting
Cicero, NY

BROLEX PLANK ROAD, LLC

ADDENDUM C – SECTION II, PART C

C). Please attach a summary of how this project will help your business grow. Will it set the company up for revenue growth? Will it mitigate cost? Will it provide more flexibility?

The Brolex Plank Road, LLC 2-building 48-unit apartment project in North Syracuse will help our company diversify its portfolio allowing for the addition of revenue stream that is generated from a multi-unit apartment complex. Not only will this apartment project help diversify our portfolio but the anticipated cash flows will allow us to redeploy these resources and continue to develop other properties within Onondaga County and neighboring communities.

Brolex Plank Road, LLC

Brolex Plank Road, LLC.
444 South Main Street
North Syracuse, NY 13212
Office: (315) 656-7271
brandon@byoh.biz
www.byohome.com

Brolex Plank Road Vision Statement

November 16th, 2020

Dear Chairman Hogan and OCIDA Members,

We write to you to introduce our Plank Road two 24-unit apartment buildings located on an underutilized 2.3-acre parcel located at 444 South Main Street in the Village of North Syracuse, New York.

We are informed that this parcel has been vacant since the home was destroyed by fire about 25 years ago. It also is one of the very few parcels available in the Village which can accommodate new apartment housing for persons 55 years old and older. The existing apartment offerings are dated and not constructed within the 55-year-old and older community in mind. The revitalization of this vacant property to a new, walkable, amenity enhanced community will meet a demand for new housing but will also transition an underutilized vacant lot to a new amenity enhanced for the 55 year and older community.

1. Overall Description of project:

- (i) Each 24-unit complex is approximately 22,500 square feet for a total of 45,000 square feet.
- (ii) The size of the lot is 2.3 acres
- (iii) The lot is currently vacant. Upon completion of the project there will be two 24-unit apartment buildings
- (iv) This project will allow for new apartment housing for persons 55 years old and older
- (v) The revitalization of this vacant property to a new, walkable, amenity enhanced community will meet a demand for new housing but will also transition an underutilized vacant lot to a new amenity enhanced for the 55 year and older community.

2. Is the property being built on a blighted lot? Yes

11/16/2020

- This 2.3-acre overgrown, vacant parcel has existed for 25 years since the former residence burned and was demolished due to structural and public safety concerns.
- The improvement of this overgrown, vacant, underutilized 2.3-acre parcel will visually enhance South Main Street for those driving by as well as those residents walking by this new community daily.

3. Is this new housing fulfilling an unmet need in the area? Yes.

- A professional evaluation of 55 year and older offerings in the County of Onondaga reveals there are 6 communities available to persons 55 years old and older including
 - Towne Center Retirement built in 2017 with 128 units 2 stories with full service and about a 15-mile distance from the subject
 - Morgan Square Apartments built in 2014 with 119 units 3 stories and being 14.3 miles from the subject
 - Buckley Square Apartments with 131 Units 2 stories built in 2011 being 8.7 miles distant from the subject
 - Snowbirds Landing 70 units built in 2004 3 stories and being 12.0 miles distant from the subject
 - Snowbirds Landing (Solvay) 73 units built in 2004 and being 11.4 miles distant from the subject.
 - Centerville Court Apartments 152 units 2 stories built in 1984 and being 8.7 miles from the subject.
- As can be seen from the above senior complexes none are close to our project located at 444 South Main Street in the Village of North Syracuse.
- The walkability for exercise and close proximity to goods and services as well as to churches and Village offerings fulfills a huge unmet need.
- The close proximity to Syracuse Hancock International Airport will allow those residents in our community who choose to travel south in the winter to do so with ease.

4. Demand for Housing? Yes.

- The Village of North Syracuse in particular as well as the county of Onondaga are underserved by a new 55-year-old and older new amenity enhanced apartment complex.
- As the Village of North Syracuse community residents 55 years old and older seek to sell their homes it is critical that they have an opportunity to remain in our community.
- These 48 apartments help to fill that demand by providing amenities such as elevators, in apartment washing machines and dryers as well as walkability for exercise, restaurants and other goods and services.
- With the arrival of new jobs from BHG, SRC, Saab-Sensis, Lockheed Martin as well as Amazon and others all housing including our new community are critical.

5. Is there support from local officials? Yes.

- During our extensive planning process with the village zoning, planning and elected officials there has been uniform support. Letters can be obtained if needed.

6. **Is there needed Infill in an already populated area?** Yes.

- This new housing community consisting of 2 24-unit apartment buildings on an overgrown lot that has been underutilized for 25 years.
- In the Village at 444 South Main since the home burned and was demolished due to instability and public safety is a perfect example of infill.

7. **Does the project provide walkability to Village centers?** Yes.

- Our new community has immediate access to the South Main Street sidewalk network.
- Within close proximity there is the Gathering Place Church, St. Rose of Lima Church, Luther Memorial Lutheran Church, St. Rose of Lima School, Vincent's Gourmet Imports Restaurant, Geddes Bakery and Pastry Shop, Plank Road Ice Cream, Bowling Green Lanes, Edward Jones Financial Advisor, Atwal Dental Care, Compassionate Family Medicines, and M&T Bank, Gulf Oil gas station, and Walgreens just to name just a few.

We are eager to start this project at 444 South Main Street. We are now asking that you, Onondaga County Industrial Development Agency, support and accept our application so that we can have the opportunity to repurpose this vacant land and improve our community.

Yours Truly,

Brolex Plank Road, LLC

Joshua H. Heintz

Date: _____

Member

Brandon M. Jacobson

Date: _____

Member

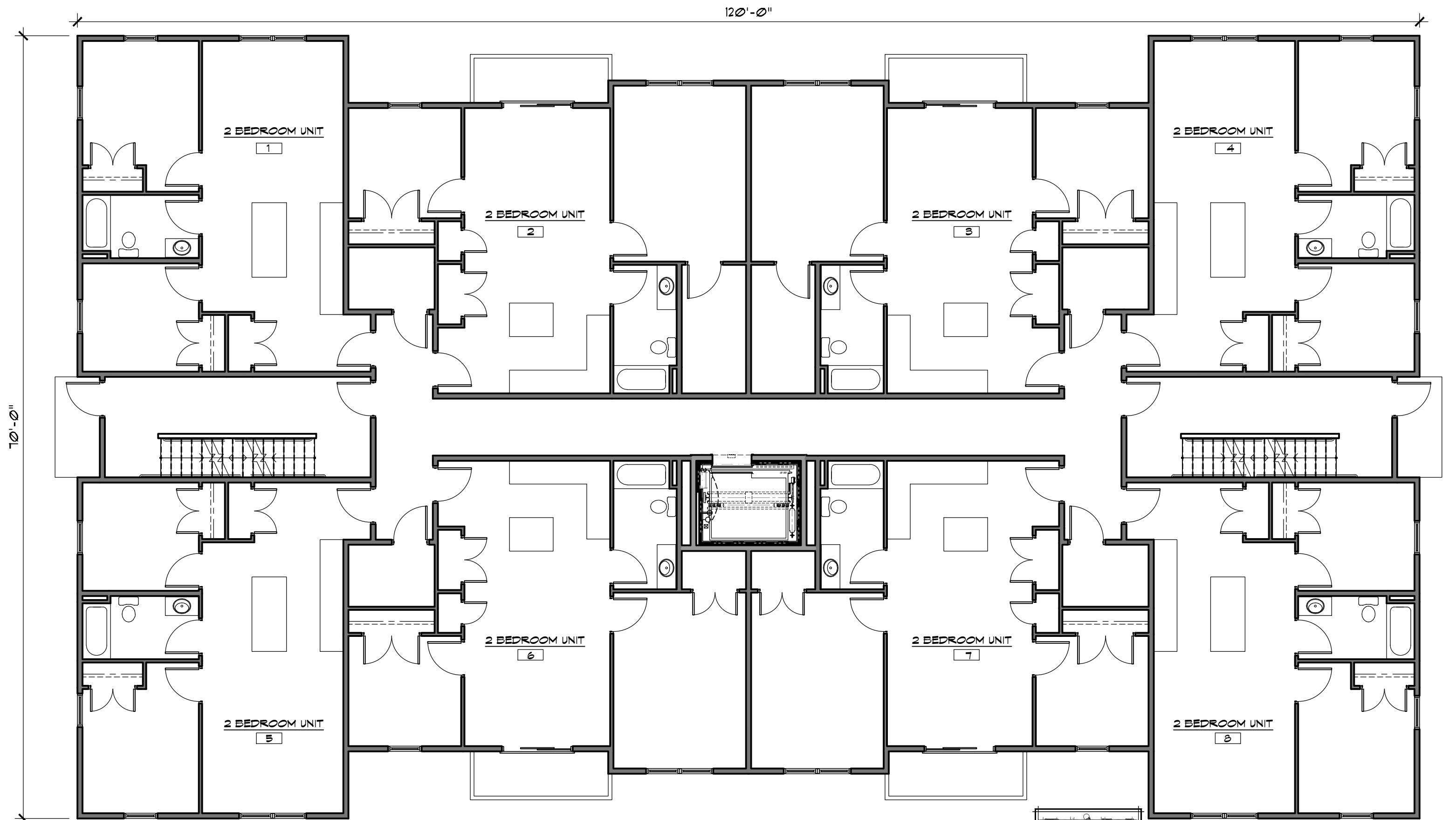
11/16/2020

Thomas M. Oot

Date: _____

Member

11/16/2020



PROPOSED 24 UNIT APARTMENT BLDG.
 NORTH SYRACUSE, NEW YORK

TYPICAL FLOOR PLAN
 SCALE: 1/8" = 1'-0"





Client:
BROLEX PROPERTIES,
LLC.
Contact:
5912 N BURDICK ST,
EAST SYRACUSE, NY
13057
315-559-0556 (Phone)

ROUTE 11 APARTMENTS 444 S. MAIN ST., NORTH SYRACUSE, NY

REVISIONS	
COMMENT LETTER UPDATES-	V.E.R.
JULY 15, '20	S.L.F.
PLANNING BOARD UPDATES-	
JULY 30, '20	
PLANNING BOARD UPDATES-	
AUG. 14, '20	
PLANNING BOARD UPDATES-	
AUG. 20, '20	
ENG. UPDATES- SEPT. 24, '20	

Drawn By: _____ V.E.R.
Checked By: _____ S.L.F.
KFA Proj. No.: 40020
Date: JUNE 11, 2020
Scale: AS NOTED

SITE PREPARATION PLAN

L-100

GENERAL NOTES

X-PALACE-GEN-NOTES

1. TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY SEGUN LAND SURVEYING, PLLC, CHITTENANGO, NY, DATED MARCH 3, 2020.

OWNER AND ARCHITECT DO NOT CONFIRM THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. CONTRACTOR IS RESPONSIBLE FOR THOROUGH EXAMINATION AND VERIFICATION OF ALL EXISTING SURFACE AND SUBSURFACE CONDITIONS AFFECTING THE NATURE, SCOPE, COMPLEXITY AND COST OF THE CONTRACT WORK. ADDITIONAL INFORMATION ON EXISTING CONDITIONS HAS BEEN ADDED TO THE DRAWINGS BASED ON THE LANDSCAPE ARCHITECT'S OBSERVATIONS BUT IS NOT INTENDED TO AND DOES NOT ALTER THE SURVEY INFORMATION. REFER TO SURVEY NOTES FOR ADDITIONAL INFORMATION.

2. COORDINATE REMOVALS WITH PHASING PLANS AND ARCHITECTURAL PLANS WHICH SHOW BUILDING DEMOLITION, RECONSTRUCTION, AND ADDITIONS.

3. SAW CUT FOR PAVING REMOVALS. EXTEND REMOVAL LINES TO INCLUDE ANY ADJOINING BROKEN OR DETERIORATING PAVING. CAREFULLY REMOVE, STOCKPILE AND PROTECT ANY ITEMS NOTED FOR SALVAGE. ALL DEMOLITION RUBBLE, DEBRIS AND EXCESS SOILS TO BE PROMPTLY REMOVED FROM SITE. STRIP AND STOCKPILE SUFFICIENT EXISTING ORGANIC TOPSOILS FOR RESPREADING AS REQUIRED ON DISTURBED AND REGRADED AREAS TO BE ESTABLISHED AS LAWN AND FOR REPAIR OF DISTURBED EXISTING LAWNS TO REMAIN. STOCKPILE ALL MATERIALS IN APPROVED LOCATIONS WITHOUT INTERFERING WITH OTHER CONTRACTOR WORK, SCHOOL TRAFFIC OR DRAINAGE.

4. ALL FILL/BACKFILL OF EXCAVATIONS AND VOIDS RESULTING FROM REMOVALS AND RELATED WORK UNDER PROPOSED OR REPLACEMENT PAVING AREAS SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIAL THOROUGHLY COMPACTED.

5. PROTECT ALL FACILITIES AND IMPROVEMENTS ON AND ADJOINING THE PROPERTY WHICH ARE NOT SPECIFICALLY IDENTIFIED FOR REMOVAL. VERIFY LOCATIONS AND DEPTHS OF ALL SUBSURFACE UTILITIES TO REMAIN PRIOR TO ANY ADJACENT REMOVAL AND EXCAVATION WORK.

6. ALL EXISTING FEATURES SHALL REMAIN UNLESS OTHERWISE NOTED. IF THE CONTRACTOR DAMAGES ANY OF THE EXISTING ON-SITE FACILITIES TO REMAIN (TREES, PAVEMENTS, UNDERGROUND UTILITIES, STRUCTURES, ETC.) WHETHER SHOWN ON THE PLANS OR NOT, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE SUCH ITEMS AT HIS OWN EXPENSE AND ASSUME ALL RESPONSIBILITY FOR SUCH DAMAGE WITHOUT ANY ADDITIONAL COST TO THE OWNER. REPLACEMENT MATERIAL SHALL BE SAME QUALITY AND QUANTITY AS ORIGINAL.

7. THE CONTRACTOR SHALL CONFIRM EXISTING GRADES AND LOCATIONS OF ALL EXISTING FEATURES WITHIN THE CONTRACT LIMIT LINE. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND AT (315) 445-7980.

8. ADJUST RIMS OF UTILITY STRUCTURES TO REMAIN WITHIN AREAS OF GRADE CHANGES TO MEET PROPOSED LINES AND GRADES.

9. CONTRACTOR SHALL BLEND NEW WORK SMOOTHLY AND EVENLY WITH EXISTING LINES AND GRADES.

10. KFA SHALL DOCUMENT ANY EXISTING DAMAGED SIDEWALK FLAGS ARE TO BE REPLACED DURING SITE WORK. THERE ARE A SMALL NUMBER OF CRACKED AND DAMAGED FLAGS ON ALL ADJACENT STREETS.

11. KFA PUNCHLIST WILL INCLUDE REVIEW OF ALL SITE PLAN AND SITE REVIEW ITEMS NOTED IN COMMENT LETTERS.

LEGEND

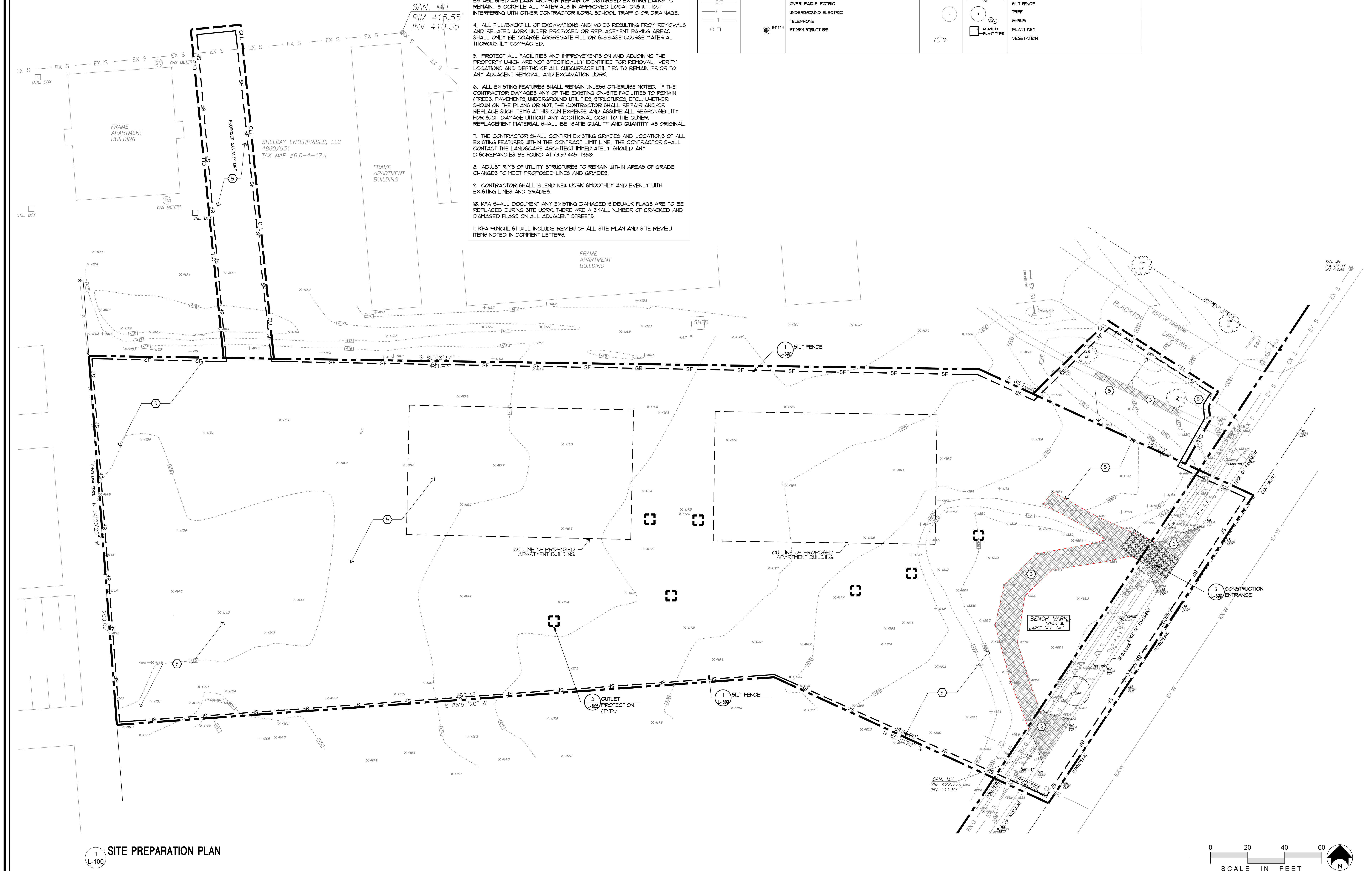
X-SMITH-LEGEND

EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION
--- 100 ---		CONTOUR	○	CB	INLET
+377.7		SPOT ELEVATION	○	DI	CATCH BASIN/MANHOLE
CT/CE	→	CURB TAPEREND	○	CO	CLEAN OUT
TO/BC		TOP/BOTTOM OF CURB			SANITARY MANHOLE
H/L/P		HIGH / LOW POINT			ASPHALT PAVEMENT-PARKING
TP-2		TEST PIT			ASPHALT PAVEMENT-DRIVE
B-1		BORING (SEE SPECIFICATIONS FOR BORING INFO)			CONCRETE PAVEMENT
		FENCE			SAFETY SURFACING
		UTILITY POLE			TRAFFIC SIGN
		WATER LINE			TRAFFIC SIGN - SET IN BOLLARD
		FIRE HYDRANT			TRAFFIC SIGN - MOVABLE
		STORM PIPE			LIGHT POLE (SEE ELECTRICAL PLANS FOR WIRING)
		UNDERDRAN			CURB
		SANITARY PIPE			CURB FLUSH (IF REVEAL UNLESS OTHERWISE NOTED)
		OVERHEAD ELECTRIC			SILT FENCE
		UNDERGROUND ELECTRIC			TREE
		TELEPHONE			SHRUB
		STORY STRUCTURE			PLANT KEY
					VEGETATION

EXISTING CONDITIONS & SITE PREPARATION NOTES

X-SMITH-SITE-PREP-NOTES

- CLL CONTRACT LIMIT LINE
- REMOVE EXISTING PAVEMENTS - SEE NOTES 3 & 4 BELOW
- SAUCUT ASPHALT OR CONCRETE PAVEMENT. SAUCUT ASPHALT IN NEAT STRAIGHT LINE AND SAUCUT CONCRETE PAVEMENT AT NEAREST SCORE JOINT.
- REMOVE EXISTING CONCRETE PAVEMENT.
- REMOVE ASPHALT PAVEMENT INCLUDING BASE MATERIAL AND DISPOSE OF OFF SITE.
- REMOVE EXISTING GRANITE CURBING.
- REMOVE EXISTING VEGETATION AND ROOTS IN THEIR ENTIRETY.



0 20 40 60
SCALE IN FEET

1 SITE PREPARATION PLAN
L-100

EROSION CONTROL NOTES and EROSION CONTROL SEQUENCING

1. PRIOR TO THE START OF CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE STABILIZED, ALL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE SITE PLAN AND AS OTHERWISE REQUIRED, SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR AND SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL, AND THE SUPPLY PREPARED FOR THE PROJECT, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. BARE SOILS SHALL BE MULCHED WITH HAY AT A RATE OF TWO TONS PER ACRE WITHIN 1 DAYS OF EXPOSURE. IF CONSTRUCTION ON AN AREA IS SUSPENDED, THE AREA SHALL BE SEEDED IMMEDIATELY.
3. SITE PREPARATION SHALL INCLUDE:
 - A. SEEDBED PREPARATION - SCARIFY IF COMPACTED, REMOVE DEBRIS AND OBSTACLES SUCH AS ROOTS OR STUMPS.
 - B. SOIL ATTENDMENTS
 1. LIFE TO PH 6.0
 2. FERTILIZE WITH 600 LBS OF 5-10-10 OR EQUIVALENT PER ACRE
 - C. SEED MIXTURES
 1. TEMPORARY SEEDINGS
 - a. KENTUCKIAN BLUEGRASS (ANNUAL) * 30 LBS/ACRE (50.1 LBS/1000 SQ FT)
 - b. CRIMSON CLOVER (PERENNIAL) * 100 LBS/ACRE (17.5 LBS/1000 SQ FT)
 2. PERMANENT SEEDINGS
 - a. ROUGH OR OCCASIONALLY MOVED AREAS:

ESPIRE BIRDSEED (TREFOIL OR COMMON)	8	0.20
WHITE CLOVER PLUM	8	0.20
TALL FESCUE PLUS	20	0.45
REDTOP	1	0.05
RYEGRASS (PERENNIAL)	5	0.10
* ADD INOCULANT IMMEDIATELY PRIOR TO SEEDING		
 - b. BROADCASTING, DRILLING WITH CULTIPACK TYPE SEEDER OR HYDROSEEDING ARE ACCEPTABLE.
4. DISTURBED AREAS SHALL BE SEEDDED AS NOTED ABOVE AND MULCHED WITH CLEAN STRAW AS OUTLINED IN THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL. ON SLOPES GREATER THAN 3:1 SEEDDED AREAS SHALL BE EROSION FENCE OR SLOPED.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE STREET PAVEMENT AREAS CLEAN OF DIRT AND DEBRIS.

6. ACCESS TO DISTURBED AREAS SHALL BE LIMITED TO THE AREAS SHOWN ON THE PLAN. THE CONTRACTOR SHALL INSTALL THE STABILIZED CONSTRUCTION ENTRANCE AT THE LOCATION SHOWN ON THE PLAN AND ANY OTHER LOCATIONS THE CONTRACTOR INTENDS TO ENTER THE SITE FROM THE ADJACENT ROADWAYS.
7. ANY EXISTING DRAINAGE FACILITIES DISRUPTED BY CONSTRUCTION OR IMPACTED BY INSTALLATION OF EROSION CONTROL MEASURES SHALL BE REPLACED TO MATCH EXISTING CONDITIONS OR BETTER.
8. TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES - AS SEDIMENT ACCUMULATES TO THE DEPTH OF THE STORMWATER BASIN, SEDIMENT SHALL BE REMOVED AS OUTLINED IN THE NYS GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
9. DIRECT ACCESS SHALL BE PROVIDED TO ALL BASIN AREAS FOR MAINTENANCE AND REHABILITATION.
10. ALL DESIGN AND MAINTENANCE MEASURES OUTLINED IN THE SUPPLY PREPARED FOR THIS PROJECT SHALL BE IMPLEMENTED AND CARRIED OUT BY THE PARTIES DEEMED RESPONSIBLE FOR THOSE DUTIES.
11. THE PERMITTEE / ITS SUBCONTRACTORS ARE RESPONSIBLE FOR MEANS & METHODS OF EROSION CONTROL FACILITIES DURING CONSTRUCTION. IT SHOULD BE NOTED THAT FACILITIES ON THIS DRAWING ARE CONSIDERED MINIMUM. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS CONSTRUCTION PROGRESSES. THE PERMITTEE / ITS SUBCONTRACTORS ARE RESPONSIBLE FOR ANY ADDITIONAL MEASURES DEEMED NECESSARY BY THE ENGINEER, TOWN OR NYSDEC.
12. PROVIDE EROSION CONTROL MEASURES AS NOTED ON THE PLANS AND AS OTHERWISE REQUIRED TO PREVENT EROSION AND SEDIMENTATION ONTO ADJACENT PROPERTY, STREETS, WATERWAYS, AND ON SITE IMPROVEMENTS BEYOND THE LIMITS OF WORK. COMPLY WITH THE LATEST ISSUE OF NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL AND THE NYSDEC'S REDUCING THE IMPACTS OF STORMWATER RUNOFF FROM NEW DEVELOPMENT.
13. MAINTENANCE - THE CONTRACTOR SHALL INSPECT ALL DRAINAGE STRUCTURES AND EROSION CONTROLS ON A WEEKLY BASIS AND AFTER ALL STORMS (IF RAINFALL OR GREATER) INCLUDING BUT NOT LIMITED TO THE FOLLOWING: REPLACING DAMAGED OR SiltED IN EROSION CONTROLS, CLEANING OUT STRUCTURES, AND STABILIZING ERODED OR WASHED OUT SLOPED AREAS.
14. CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES UNTIL CONSTRUCTION IS COMPLETE, LAWS HAVE BECOME ESTABLISHED AND ALL SOURCES OF EROSION HAVE BEEN PERMANENTLY STABILIZED.
15. CONTRACTOR SHALL PROVIDE DUST CONTROL IN ACCORDANCE WITH THE LATEST ISSUE OF NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.

- EROSION CONTROL and CONSTRUCTION SEQUENCE
- THE PROJECT WILL CREATE A TOTAL SITE DISTURBANCE OF APPROXIMATELY 31 ACRES. THE SITE DISTURBANCE WILL BE PHASED TO LIMIT THE POTENTIAL FOR EROSION AND SEDIMENTATION ISSUES DURING THE CONSTRUCTION PROCESS. BELOW IS A LISTING OF THE ANTICIPATED PHASING.
- THE SEQUENCE OF CONSTRUCTION FOR EACH AREA SHALL BE:
1. PRIOR TO ANY SITE DISTURBANCE, CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT THE PROPOSED SITE ENTRANCE LOCATION AS SHOWN ON THE DRAWING.
 2. SILT FENCE - INSTALL PERIMETER SILT FENCE AS SHOWN ON PLAN PRIOR TO EARTHWORK. SILT FENCE SHALL BE UTILIZED ONLY AS A TEMPORARY MEASURE. DISTURBED AREAS SHALL BE SEEDDED IMMEDIATELY FOLLOWING THE COMPLETION OF ANY EARTHWORK PHASE.
 3. CLEARING AND GRUBBING - REMOVE ALL TREES, STUMPS AND BRUSH PRIOR TO EARTHWORK.
 4. INSTALL TEMPORARY SEDIMENT TRAP IN THE LOCATIONS SHOWN ON THE PLANS. SEDIMENT TRAPS SHALL BE SIZED APPROPRIATELY TO THE UPSTREAM DRAINAGE AREA. ADHERE TO THE INSPECTION AND MAINTENANCE REQUIREMENTS ASSOCIATED WITH THE TEMPORARY SEDIMENT TRAP DETAIL.
 5. PROVIDE ALL DRAINAGE CHANNELS AND INSTALL EROSION CONTROL MEASURES WITHIN DRAINAGEWAYS. INSTALL CHECK DAMS WHERE INDICATED ON THE PLANS. INSTALL BYPASS SWALE INCLUDING LIGHT STONE FILL.
 6. STRIP AND STOCKPILE TOPSOIL IN AREA SHOWN ON PLAN AND / OR AGREED UPON LOCATION WITH OWNERS. ENCLOSE TOPSOIL STOCKPILE AREAS WITH SILT FENCE. PROVIDE TEMPORARY MEASURES TO PROTECT WATER LINE AT CROSSING.
 7. PROVIDE DRAINAGE STRUCTURES AND PIPING, INCLUDING DRAINAGE INLET PROTECTION AS SHOWN ON THE DRAWING.
 8. PREPARE BUILDING PAD AREA, DRIVEWAYS AND PARKING AREA SUBGRADE.
 9. EXCAVATE AND FILL REST OF SITE AREAS. FINE GRADE, SEED AND MULCH ALL DISTURBED AREAS WITHIN SEVEN (7) DAYS OF DISTURBANCE. AREAS TO RECEIVE ASPHALT PAVEMENT SHOULD BE PAVED WITH AT LEAST THE ASPHALT BINDER COURSE WITHIN SEVEN (7) DAYS OF PLACEMENT OF THE WATER OR DIRT PRODUCED WHEN HANDLING, PASS THROUGH A HALF INCH SCREEN AND HAVE A pH SUITABLE TO GROW DESIRED PLANTS.

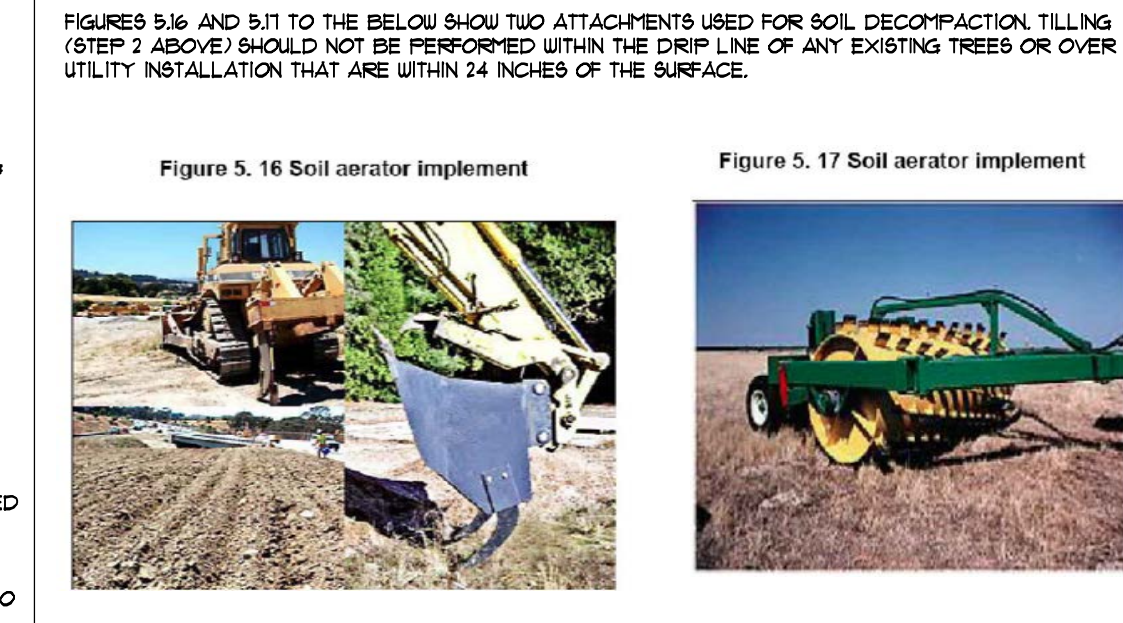
12. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AFTER ASPHALT BINDER COURSE IS PLACED.
 13. CLEAN TEMPORARY SEDIMENT TRAPS BASIN AFTER ALL UPSTREAM CONTRIBUTORY DRAINAGE AREAS ARE COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED.
 13. FINE GRADE AND SEED AREAS OF TEMPORARY SEDIMENT TRAPS AS NOTED ON THE PLANTING PLAN AND ON THE DETAILS.
 14. REMOVE TEMPORARY SILT FENCING AND ROCK CHECK DAMS AFTER SITE IS COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED. PROVIDE UNDERDRAIN WITHIN DETENTION BASIN PER PLANS.
- FINAL CLEAN UP & PREVENTATIVE MAINTENANCE
1. REMOVE AND/OR MAINTAIN STOCKPILE AREAS.
 2. REMOVE EROSION CONTROL MEASURES FROM STABILIZED AREAS.
 3. FINAL CLEAN UP - REMOVE EROSION CONTROL MEASURES AND CLEAN OUT ALL DRAINAGE STRUCTURES AND PIPES AFTER LAWN IS WELL ESTABLISHED. OWNER IS RESPONSIBLE FOR MAINTAINING SITE UPON PROJECT CLOSEOUT.
 4. CONTRACTOR, ARCHITECT, AND OWNER TO REVIEW SITE FOR COMPLETION. CONTRACTOR TO ADDRESS FINAL COMMENTS ON PUNCH LIST FROM ARCHITECT AND SUPPLY INSPECTION REPORTS.

SOIL RESTORATION NOTES

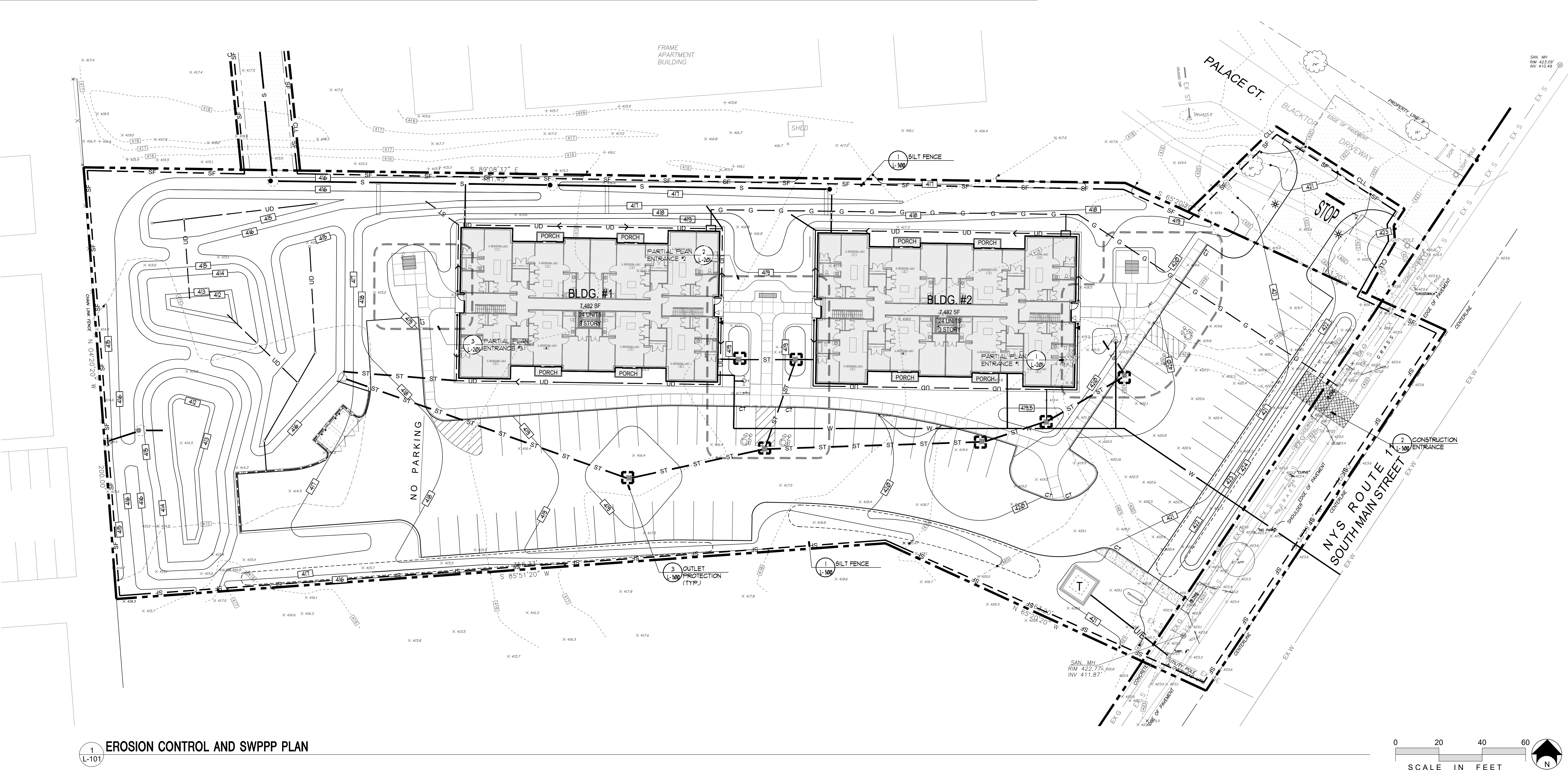
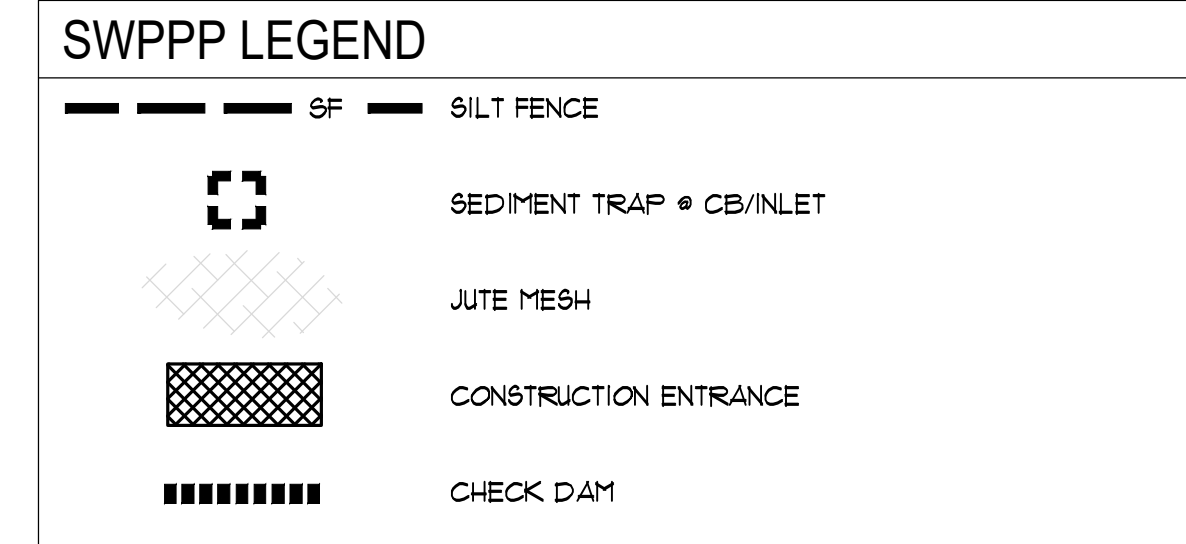
1. ACCORDING TO SECTION 5 OF THE NYS STORMWATER DESIGN MANUAL, SOIL RESTORATION PRACTICES MUST BE APPLIED ACROSS THE SITE IN AREAS OF SOIL DISTURBANCE.
2. SOIL RESTORATION REQUIREMENTS:

TYPE OF SOIL DISTURBANCE	SOIL RESTORATION REQUIREMENT
NO SOIL DISTURBANCE	RESTORATION NOT PERMITTED
MINIMAL SOIL DISTURBANCE	RESTORATION NOT REQUIRED
AREAS WHERE TOPSOIL IS STRIPPED ONLY - NO CHANGE IN GRADE	HSG A1B - APPLY 6 INCHES OF TOPSOIL HSG C1D AERATE* AND APPLY 6 INCHES OF TOPSOIL
AREAS OF CUT OR FILL	HSG A1B - AERATE AND APPLY 6 INCHES OF TOPSOIL HSG C1D - APPLY FULL SOIL RESTORATION*
HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN ZONE 3-15 FEET AROUND BUILDINGS BUT NOT WITHIN A 5 FOOT PERIMETER AROUND FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION (DECOMPACTION AND COMPOST ENHANCEMENT)
AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED	RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES.

- TYPE OF SOIL DISTURBANCE
- REDEVELOPMENT PROJECTS
- SOIL RESTORATION REQUIREMENT
- SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREA WILL BE CONVERTED TO PERVIOUS AREA.
- *AERATION INCLUDES THE USE OF MACHINES SUCH AS TRACKER DRAIN IMPLEMENTS WITH COLLARS MAKING A HORIZONTAL SLIT IN THE SOIL, A COLLAR WITH MANY SPICES MAKING INCENTATIONS IN THE SOIL, OR FRINGS WHICH FUNCTION LIKE A MINI-SUB-SOILER.
- *PER "DEEP RIPPING AND DE-COMPACTION, DEC 2009".
3. SOIL RESTORATION PRACTICE IMPLEMENTATION:
- DURING PERIODS OF RELATIVELY LOW TO MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS ARE RETURNED TO ROUGH GRADE AND THE FOLLOWING SOIL RESTORATION STEPS APPLIED:
1. APPLY 3 INCHES OF COMPOST OVER SUBSOIL.
 2. TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACKER-POINTED DISC, OR TILLER MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.
 3. ROCK-PICK UNTIL LIMITED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEARED OFF THE SITE.
 4. APPLY TOPSOIL TO A DEPTH OF 6 INCHES.
 5. VEGETATE AS REQUIRED BY APPROVED PLAN.
 6. COMPOST SHALL BE AGED FROM PLANT DERIVED MATERIALS FREE OF VISIBLE WEED SEEDS, HAVE NO VISIBLE FREE WATER OR DUST PRODUCED WHEN HANDLING, PASS THROUGH A HALF INCH SCREEN AND HAVE A pH SUITABLE TO GROW DESIRED PLANTS.



4. AT THE END OF THE PROJECT AN INSPECTOR SHOULD BE ABLE TO PUSH A 3/8" METAL BAR 10 INCHES INTO THE SOIL JUST WITH BODY WEIGHT.
5. THE CONTRACTOR MUST KEEP THE SITE FREE OF VEHICULAR AND FOOT TRAFFIC OR OTHER WEIGHT LOADS. CONSIDER PEDESTRIAN FOOTPATHS. (SOMETIMES IT MAY BE NECESSARY TO DE-HATCH THE TIRE EVERY FEW YEARS)
6. ALL SOIL RESTORATION SHALL BE IN ACCORDANCE WITH NYSDEC REGULATIONS AND THE APPROVED SUPPLY FOR THE PROJECT.



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315-559-0556 (Phone)

ROUTE 11 APARTMENTS 444 S. MAIN ST., NORTH SYRACUSE, NY

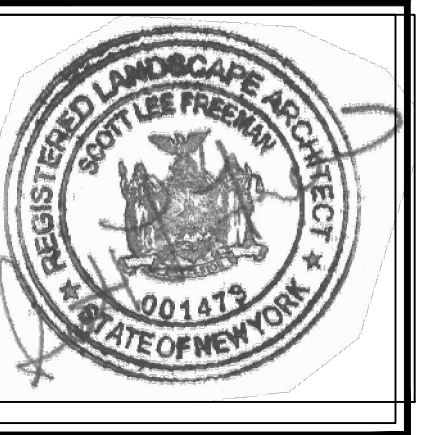
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SEPT. 24, 20	

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EROSION CONTROL PLAN

L-101



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GRADING,
DRAINAGE &
UTILITIES PLAN

L-200

SANITARY NOTES

- 1) SANITARY EASEMENTS SHALL BE PRIVATELY OWNED. REFER TO SANITARY EASEMENT MAP DATED 6/30/2020 BY SEGUN LAND SURVEYING.
- 2) ALL SANITARY MANHOLES, PIPES, AND LATERALS WILL BE PRIVATELY OWNED.
- 3) PRIOR TO AND AFTER CONSTRUCTION ALL JOINTS AND CONNECTIONS WILL BE VIDEO INSPECTED TO ENSURE PROPER INSTALLATION AT EXISTING SEWER PIPE.
- 4) PRIVATE SEWER WILL BE SUBJECT TO OCCUPIER PLUMBING CONTROL PERMITTING AND INSPECTION. CONTRACTOR TO COORDINATE PRIOR TO CONSTRUCTION.
- 5) BYPASS PUMPING IS REQUIRED TO ENSURE CONTINUOUS OPERATION OF EXISTING SANITARY SYSTEM DURING CONSTRUCTION.

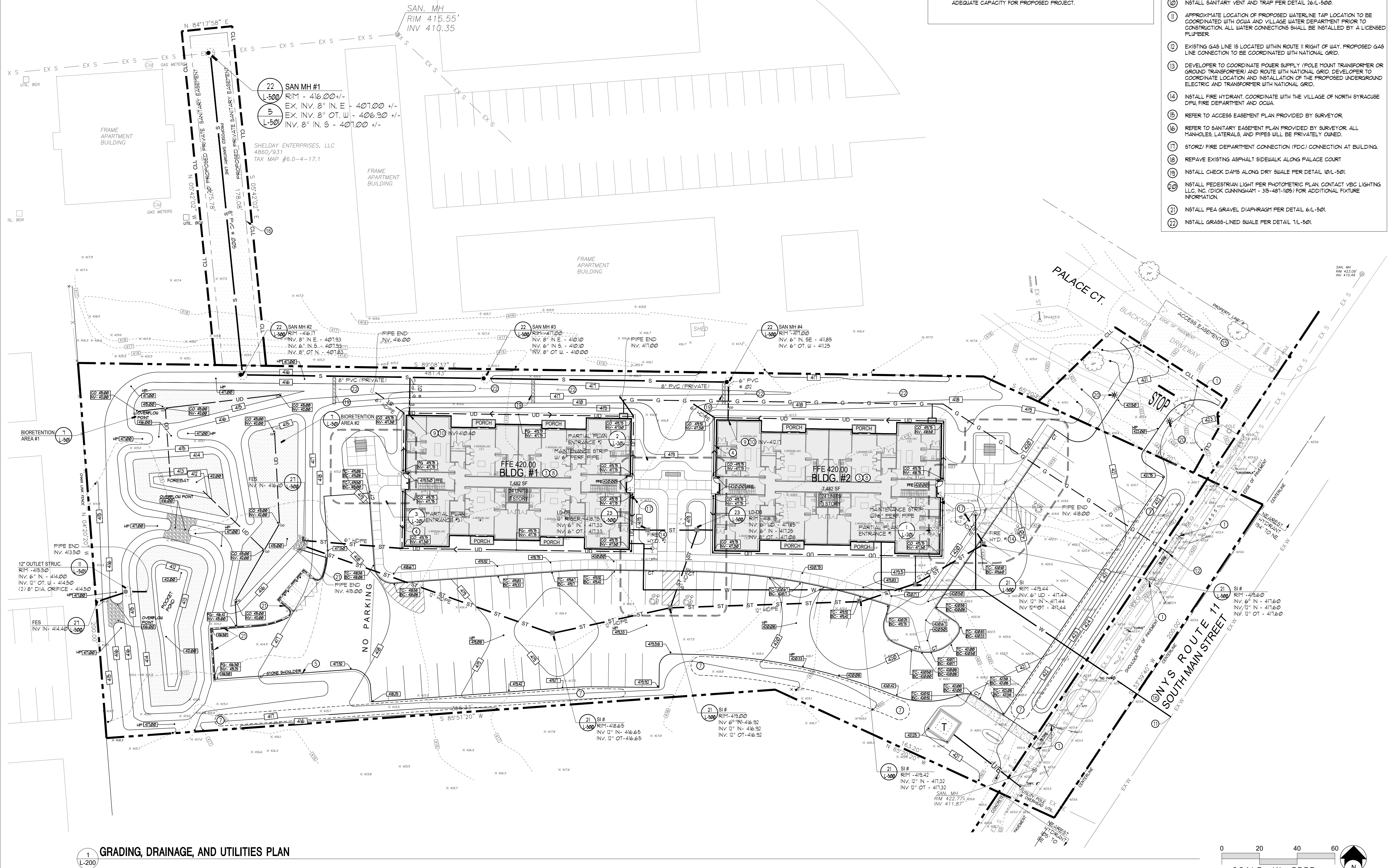
DAILY WATER USE

ESTIMATED AVERAGE DAILY WATER USE = 13,200 GPD* BASED ON 60 UNITS OF 2 BEDROOM UNITS.

*TO BE SUBMITTED TO OCWA AND OCCUPIER. OCWA AND COUNTY HAVE ADEQUATE CAPACITY FOR PROPOSED PROJECT.

GRADING, DRAINAGE and UTILITIES NOTES

- 1) MEET EXISTING LINE AND GRADE.
- 2) LIGHTING SHALL BE PROVIDED BY "DARK SKY COMPLIANT" WALL PACK LIGHTING UNITS. REFER TO L-301 FOR LIGHTING PHOTOMETRICS.
- 3) ROOF OR SHEET DRAINAGE FROM ROOF AREAS TO BE COORDINATED WITH FINAL ARCHITECTURAL PLANS. CURRENT PLANS SHOW STONE MAINTENANCE STRIPS.
- 4) INSTALL STONE MAINTENANCE STRIP PER DETAIL 3/L-500.
- 5) INSTALL ROUND RIVER STONE SIMILAR TO DETAIL 2/L-500.
- 6) CONTRACTOR TO VERIFY PIPE FITTINGS AT EXISTING SANITARY MANHOLE PRIOR TO CONSTRUCTION.
- 7) SNOW STORAGE AREA.
- 8) PROPOSED WATER LINE (TYPICAL) RFPZ TO BE PROVIDED BY MEP AND BE COORDINATED WITH OCWA/VILLAGE OF NORTH SYRACUSE DPW.
- 9) PROPOSED 6" SDR-35 PVC SANITARY LATERAL WITH RUBBER RING GASKET. PROVIDE ONE LATERAL PER BUILDING (TYPICAL). MINIMUM SLOPE FOR LATERALS TO BE 2% (1/4" PER FT.)
- 10) INSTALL SANITARY VENT AND TRAP PER DETAIL 26/L-500.
- 11) APPROXIMATE LOCATION OF PROPOSED WATERLINE TAP LOCATION TO BE COORDINATED WITH OCWA AND VILLAGE WATER DEPARTMENT PRIOR TO CONSTRUCTION. ALL WATER CONNECTIONS SHALL BE INSTALLED BY A LICENSED PLUMBER.
- 12) EXISTING GAS LINE IS LOCATED WITHIN ROUTE 11 RIGHT OF WAY. PROPOSED GAS LINE CONNECTION TO BE COORDINATED WITH NATIONAL GRID.
- 13) DEVELOPER TO COORDINATE POWER SUPPLY (POLE MOUNT TRANSFORMER OR GROUND TRANSFORMER) AND ROUTE WITH NATIONAL GRID. DEVELOPER TO COORDINATE LOCATION AND INSTALLATION OF THE PROPOSED UNDERGROUND ELECTRIC AND TRANSFORMER WITH NATIONAL GRID.
- 14) INSTALL FIRE HYDRANT. COORDINATE WITH THE VILLAGE OF NORTH SYRACUSE DPW/FIRE DEPARTMENT AND OCWA.
- 15) REFER TO ACCESS EASEMENT PLAN PROVIDED BY SURVEYOR.
- 16) REFER TO SANITARY EASEMENT PLAN PROVIDED BY SURVEYOR. ALL MANHOLES, LATERALS, AND PIPES WILL BE PRIVATELY OWNED.
- 17) STORZ/ FIRE DEPARTMENT CONNECTION (FDC) CONNECTION AT BUILDING.
- 18) REPAVE EXISTING ASPHALT SIDEWALK ALONG PALACE COURT.
- 19) INSTALL CHECK DAMS ALONG DRY SWALE PER DETAIL 10/L-501.
- 20) INSTALL PEDESTRIAN LIGHT PER PHOTOMETRIC PLAN. CONTACT VBC LIGHTING LLC, INC. (DICK CUNNINGHAM) - 315-481-1095 FOR ADDITIONAL FIXTURE INFORMATION.
- 21) INSTALL FEA GRAVEL DIAPHRAGM PER DETAIL 6/L-501.
- 22) INSTALL GRASS-LINED SWALE PER DETAIL 1/L-501.



1 GRADING, DRAINAGE, AND UTILITIES PLAN
L-200





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ROUTE 11 APARTMENTS

444 S. MAIN ST., NORTH SYRACUSE, NY

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LAYOUT AND
PLANTING PLAN

L-300

PLANT LIST					
KEY	COMMON NAME	BOTANICAL NAME	CALIPER	TREE HT.	
TREES					
Ar	RED MAPLE	ACER RUBRUM	2.5" CAL.	6'-8'	
Qb	SWAMP WHITE OAK	QUERCUS BICOLOR	2.5" CAL.	6'-8'	
EVERGREENS					
Jh	CREeping JUNIPER	JUNIPERUS HORIZONTALIS	-	2 GAL	
Pa	NORWAY SPRUCE	PICEA ABIES	-	6'	
To	TAUTON YEW	TAXUS X MEDIA	3 GAL.	3'	
Ta	'EMERALD GREEN' ARBORVITAE	THUJA OCCIDENTALIS 'EMERALD GREEN'	-	6'	
SHRUBS					
Cs	'ARTIC FIRE' RED OSIER DOGWOOD	CORNUS STOLONIFERA 'ARTIC FIRE'	--	2 GAL.	
Hp	HYDRANGEA	HYDRANGEA PANICULATA	--	2 GAL.	
PERENNIALS and GRASSES					
G-Co	FEATHER REED GRASS 'KARL FOERSTER'	CALAMAGROSTIS X ACUTIFLORA	--	1 GAL.	
Ho	HOSTA	HOSTA	--	1 GAL.	
BIORETENTION AREA PLANTS - 0-6" STANDING WATER					
WCl	LURID SEDGE	CAREX LURIDA	PLUGS	EQUALLY MIXED, 3" O.C.	
Wcs	TUSsock SEDGE	CAREX STRICTA	PLUGS	EQUALLY MIXED, 3" O.C.	
Wcv	FOX SEDGE	CAREX VULPINOIDEA	PLUGS	EQUALLY MIXED, 3" O.C.	
Wlv	BLUEFLAG IRIS	IRIS VERSICOLOR	PLUGS	EQUALLY MIXED, 3" O.C.	
WSc	WOOLGRASS	SORPUS CYPERINUS	PLUGS	EQUALLY MIXED, 3" O.C.	

PLANT NOTES

▲ 3" DEPTH SHREDDED BARK MULCH WITH 18" OF SCREENED TOPSOIL WITH SPADE CUT EDGE.

▲ INSTALL SEEDED LAWN PER DETAIL 15/L-500.

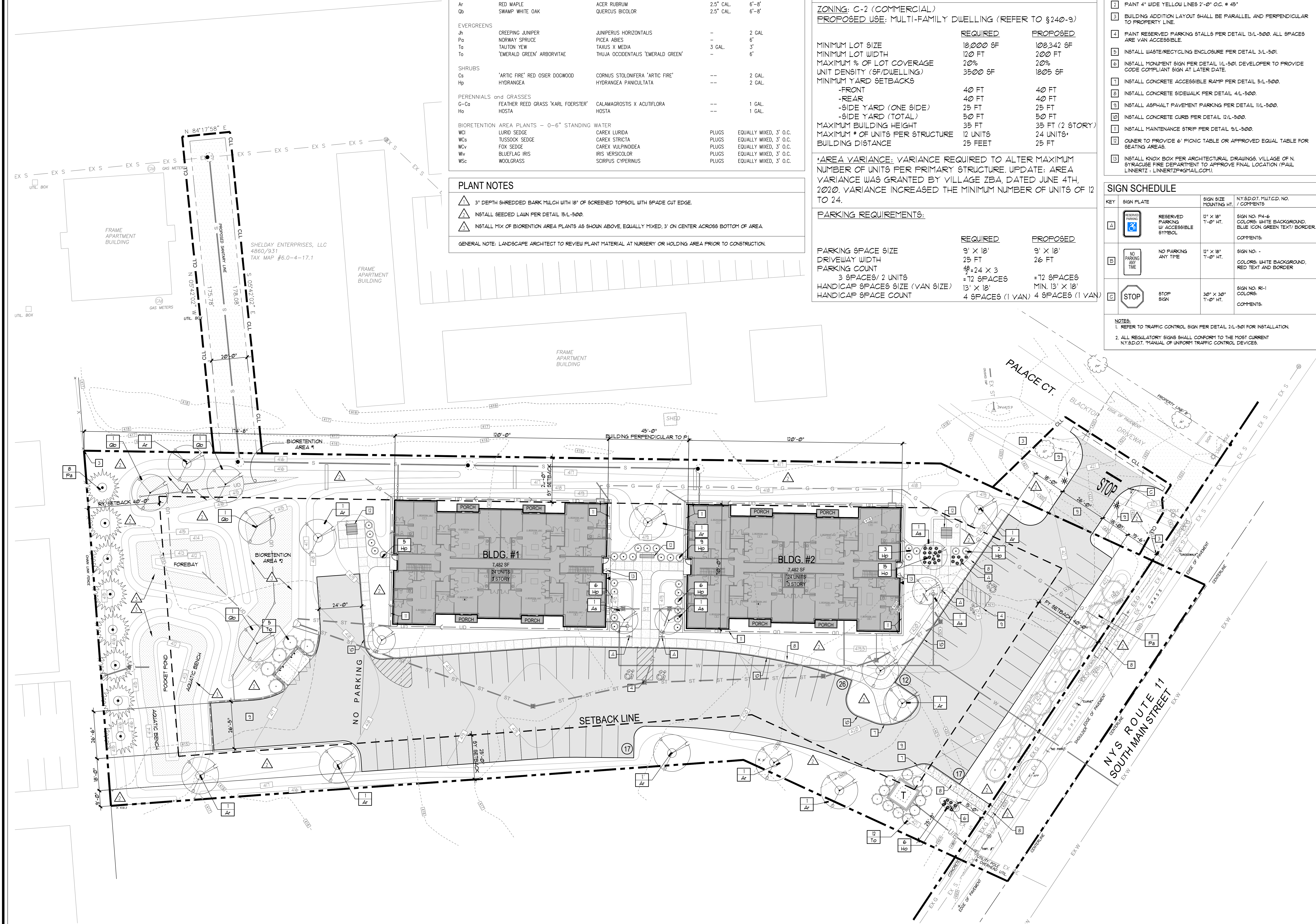
▲ INSTALL MIX OF BIORETENTION AREA PLANTS AS SHOWN ABOVE, EQUALLY MIXED, 3" ON CENTER ACROSS BOTTOM OF AREA.

GENERAL NOTE: LANDSCAPE ARCHITECT TO REVIEW PLANT MATERIAL AT NURSERY OR HOLDING AREA PRIOR TO CONSTRUCTION.

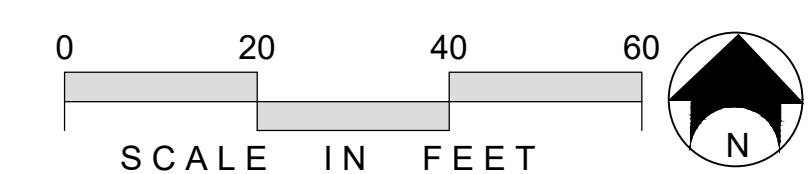
ZONE DATA CHART - VILLAGE OF NORTH SYRACUSE		
ZONING: C-2 (COMMERCIAL) PROPOSED USE: MULTI-FAMILY DWELLING (REFER TO §240-9)		
	REQUIRED	PROPOSED
MINIMUM LOT SIZE	18,000 SF	108,342 SF
MINIMUM LOT WIDTH	120 FT	200 FT
MAXIMUM % OF LOT COVERAGE	20%	20%
UNIT DENSITY (#/DWELLING)	3500 #/	1805 #/
MINIMUM YARD SETBACKS		
-FRONT	40 FT	40 FT
-REAR	40 FT	40 FT
-SIDE YARD (ONE SIDE)	25 FT	25 FT
-SIDE YARD (TOTAL)	50 FT	50 FT
MAXIMUM BUILDING HEIGHT	35 FT	35 FT (2 STORY)
MAXIMUM # OF UNITS PER STRUCTURE	12 UNITS	24 UNITS
BUILDING DISTANCE	25 FEET	25 FT
*AREA VARIANCE: VARIANCE REQUIRED TO ALTER MAXIMUM NUMBER OF UNITS PER PRIMARY STRUCTURE. UPDATE: AREA VARIANCE WAS GRANTED BY VILLAGE ZBA, DATED JUNE 4TH, 2020. VARIANCE INCREASED THE MINIMUM NUMBER OF UNITS OF 12 TO 24.		
PARKING REQUIREMENTS:		
	REQUIRED	PROPOSED
PARKING SPACE SIZE	9' X 18'	9' X 18'
DRIVEWAY WIDTH	25 FT	26 FT
PARKING COUNT		
3 SPACES/ 2 UNITS	48 = 24 X 3	= 72 SPACES
HANDICAP SPACES SIZE (VAN SIZE)	13' X 18'	MIN. 13' X 18'
HANDICAP SPACE COUNT	4 SPACES (1 VAN)	4 SPACES (1 VAN)

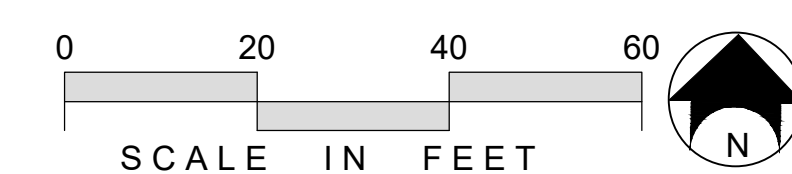
LAYOUT CONSTRUCTION NOTES			
1	PAIN 4" WIDE YELLOW LINES (TYP.)		
2	PAIN 4" WIDE YELLOW LINES 2'-0" O.C. @ 45°		
3	BUILDING ADDITION LAYOUT SHALL BE PARALLEL AND PERPENDICULAR TO PROPERTY LINE.		
4	PAINT RESERVED PARKING SPALLS PER DETAIL 13/L-500. ALL SPACES ARE VAN ACCESSIBLE.		
5	INSTALL WASTE/RECYCLING ENCLOSURE PER DETAIL 3/L-501.		
6	INSTALL MONUMENT SIGN PER DETAIL 1/L-501. DEVELOPER TO PROVIDE CODE COMPLIANT SIGN AT LATER DATE.		
7	INSTALL CONCRETE ACCESSIBLE RAMP PER DETAIL 3/L-500.		
8	INSTALL CONCRETE SIDEWALK PER DETAIL 4/L-500.		
9	INSTALL ASPHALT PAVEMENT PARKING PER DETAIL 1/L-500.		
10	INSTALL CONCRETE CURB PER DETAIL 12/L-500.		
11	INSTALL MAINTENANCE STRIP PER DETAIL 3/L-500.		
12	OWNER TO PROVIDE 6" PICNIC TABLE OR APPROVED EQUAL TABLE FOR SEATING AREAS.		
13	INSTALL KNOX BOX PER ARCHITECTURAL DRAWINGS. VILLAGE OF N. SYRACUSE FIRE DEPARTMENT TO APPROVE FINAL LOCATION (PAUL LINNERTZ: LINNERTZPGMAIL.COM).		

SIGN SCHEDULE			
KEY	SIGN PLATE	SIGN SIZE MOUNTING HT.	NYSDOT MUTCD NO. / COMMENTS
A	RESERVED PARKING	12' X 18' 7'-0" HT.	SIGN NO. P4-B COLORS: WHITE BACKGROUND, BLUE ICON, GREEN TEXT/ BORDER COMMENTS:
B	NO PARKING ANY TIME	12' X 18' 7'-0" HT.	SIGN NO. - COLORS: WHITE BACKGROUND, RED TEXT AND BORDER
C	STOP	30" X 30" 7'-0" HT.	SIGN NO. R1-1 COLORS: COMMENTS:
NOTES: 1. REFER TO TRAFFIC CONTROL SIGN PER DETAIL 2/L-501 FOR INSTALLATION. 2. ALL REGULATORY SIGNS SHALL CONFORM TO THE MOST CURRENT NYSDOT "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES."			



1 L-300 LAYOUT AND PLANTING PLAN







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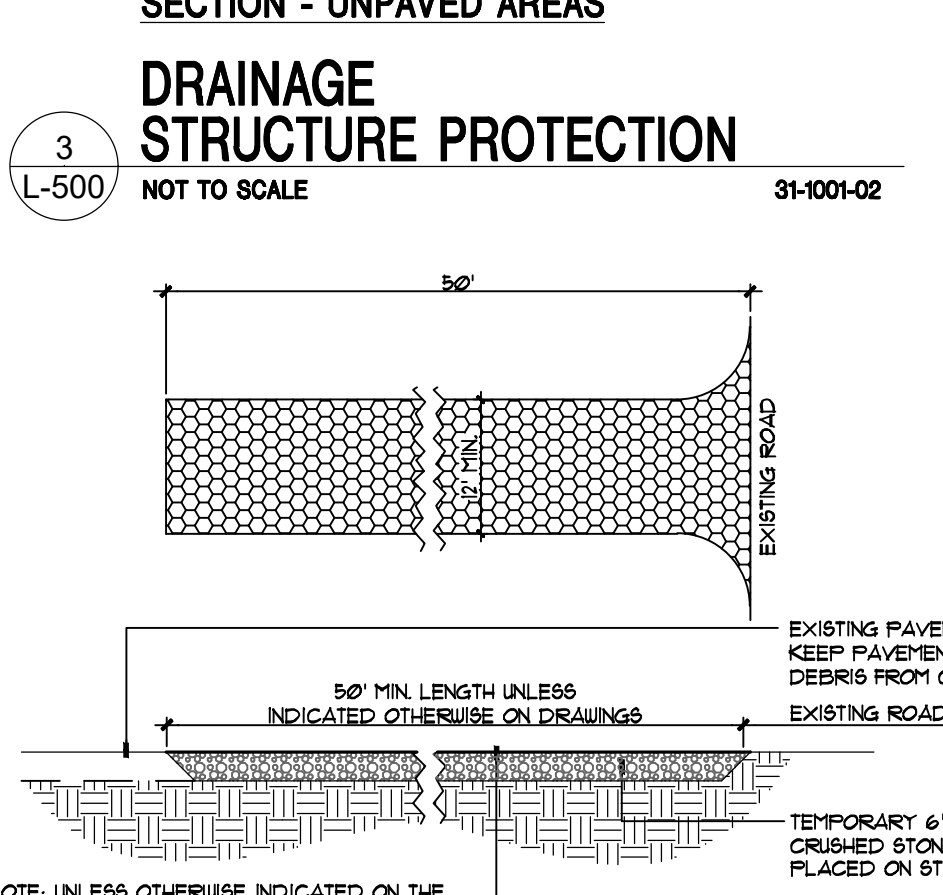
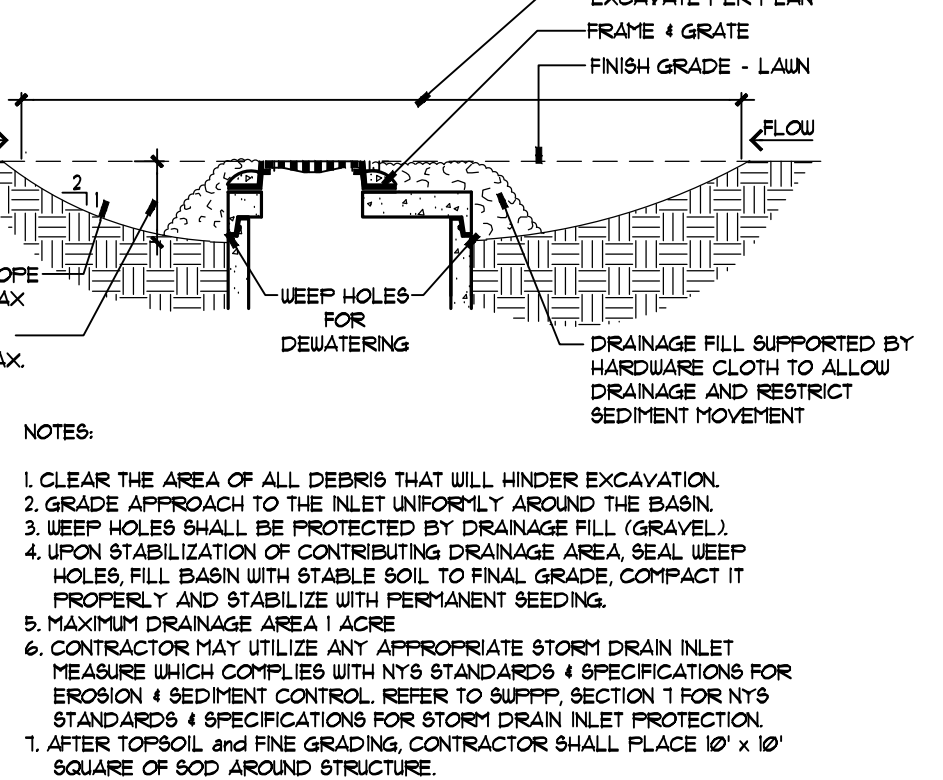
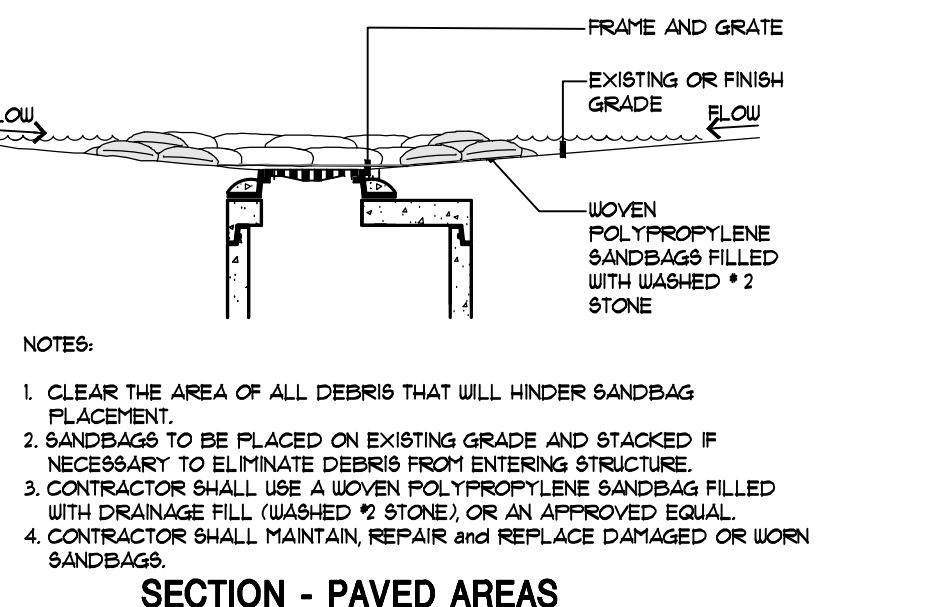
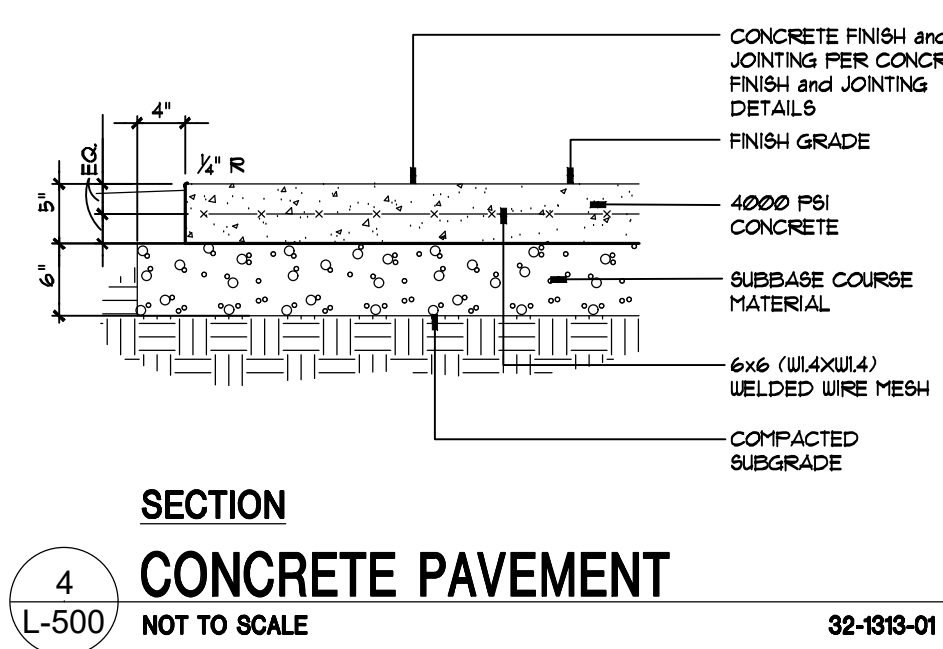
ROUTE 11 APARTMENTS 444 S. MAIN ST., NORTH SYRACUSE, NY

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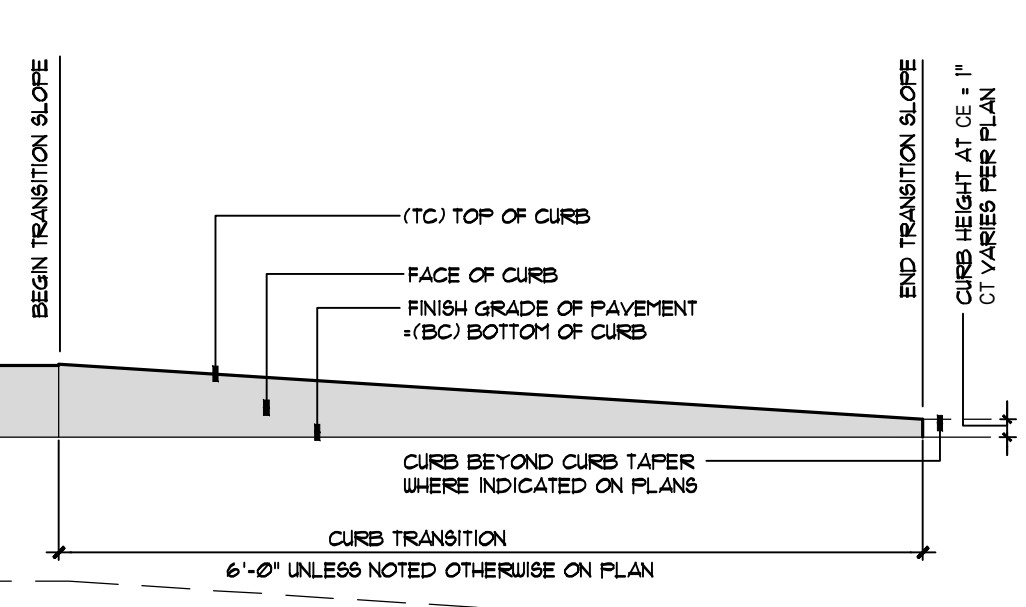
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DETAILS

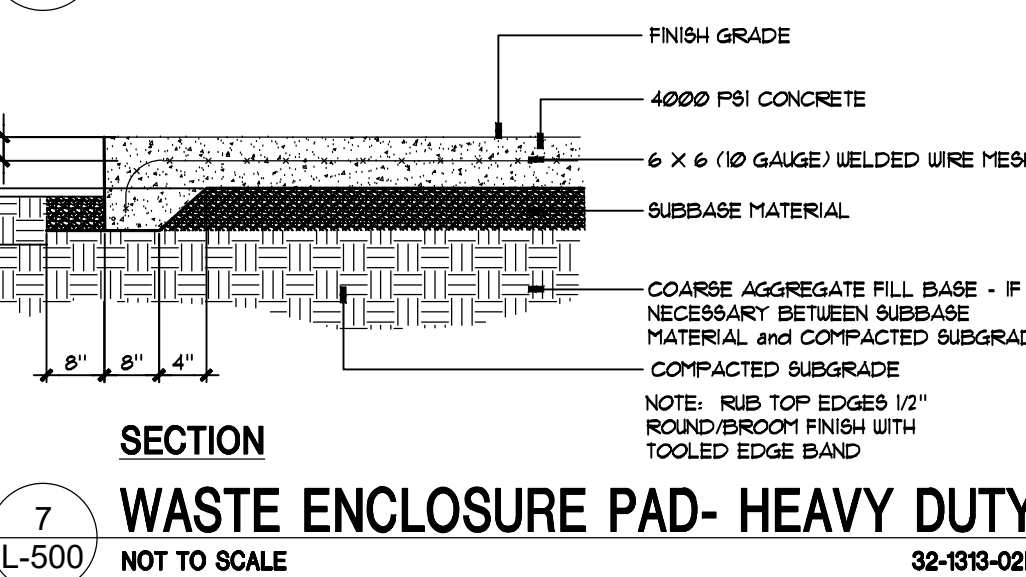
L-500



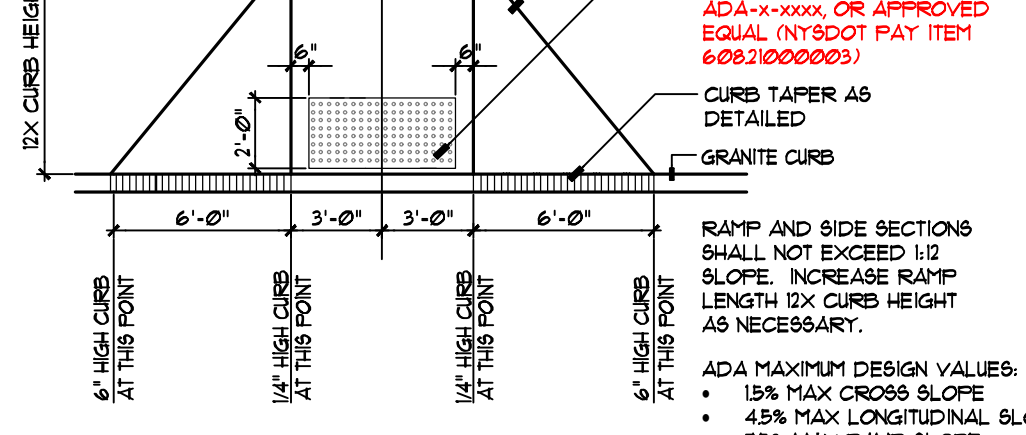
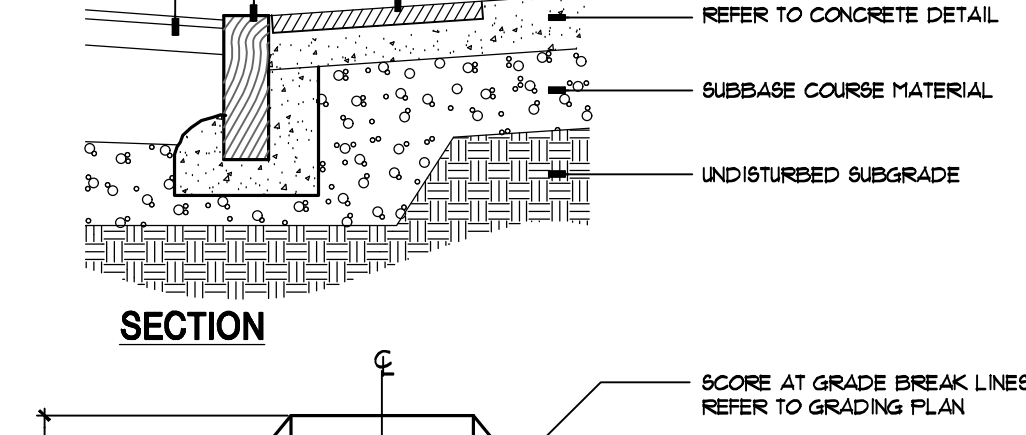
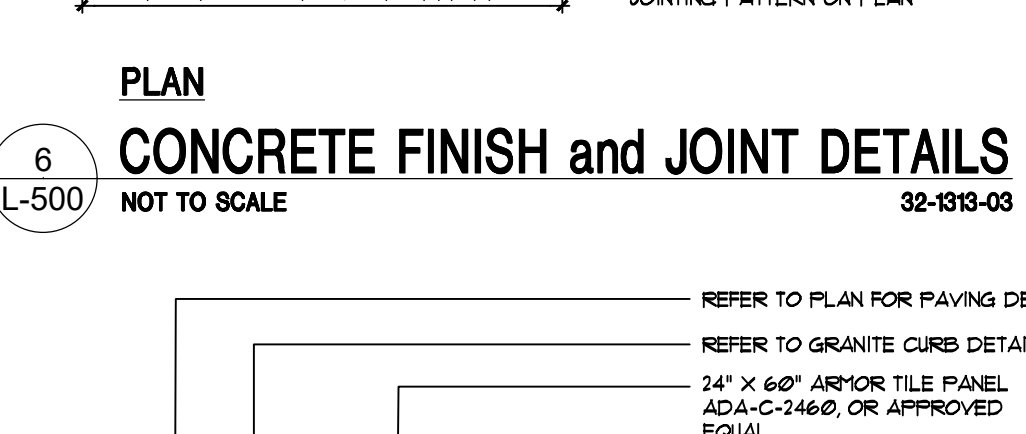
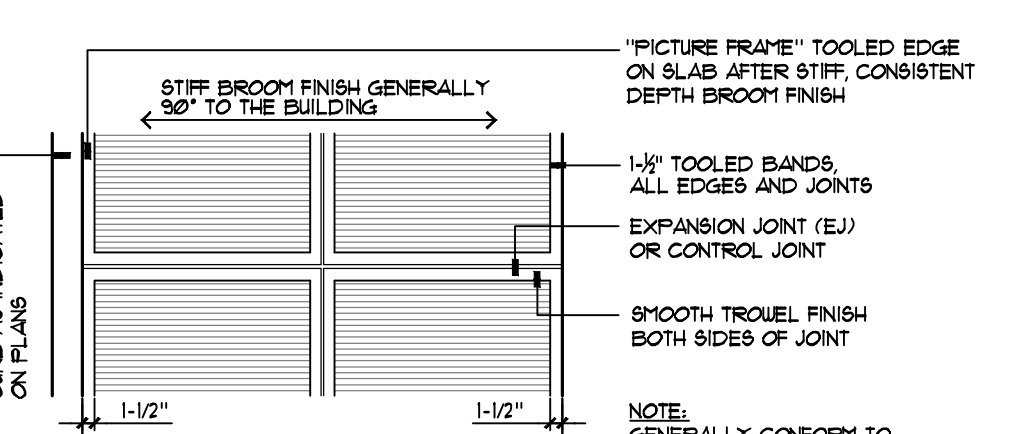
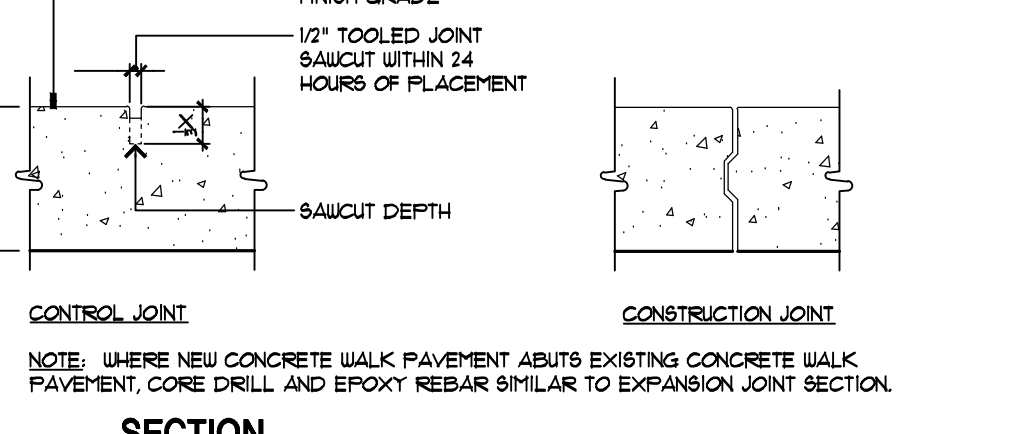
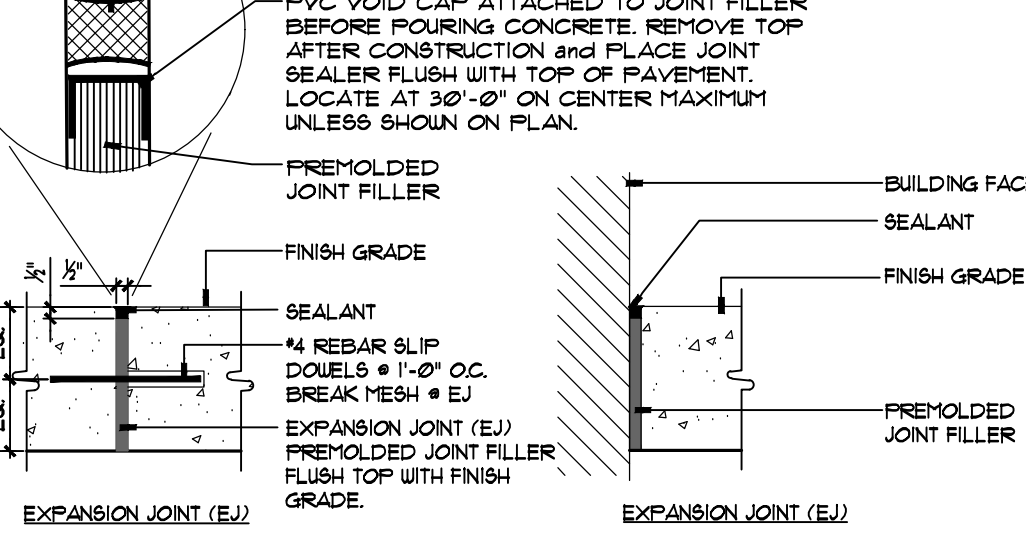
SECTION 9 MAINTENANCE STRIP - TYPE 1 (MS) NOT TO SCALE 33-4000-01A



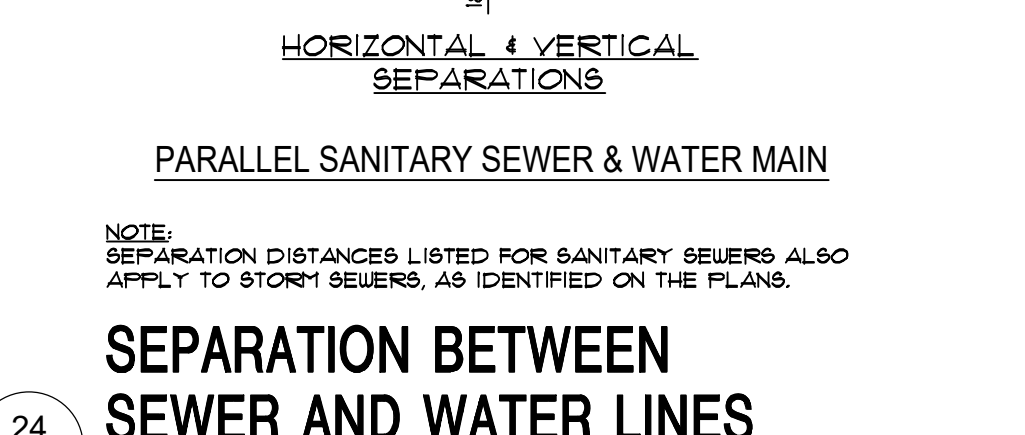
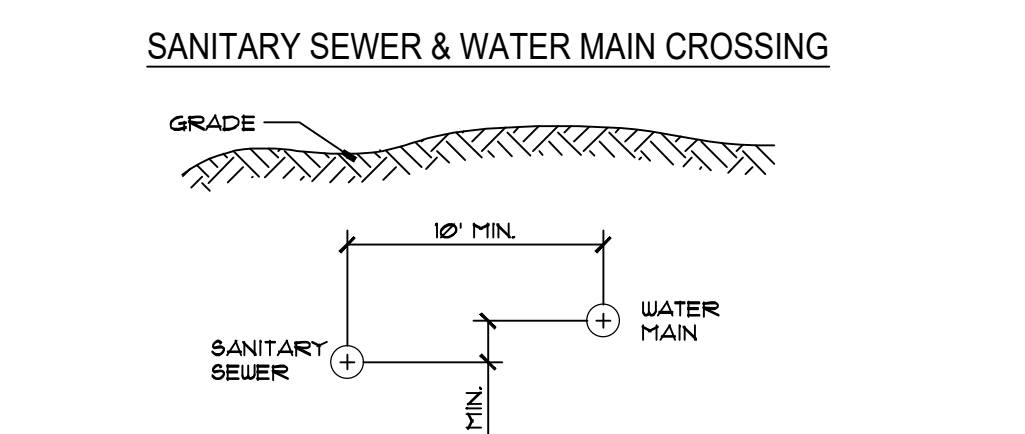
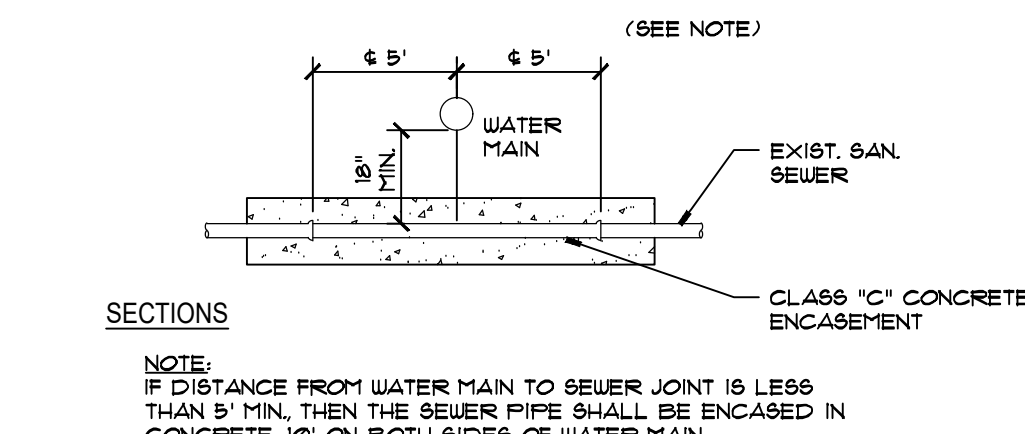
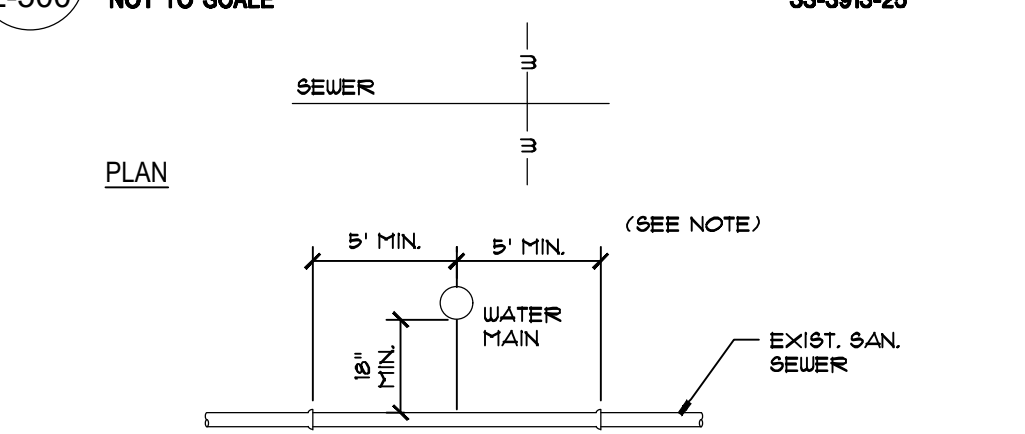
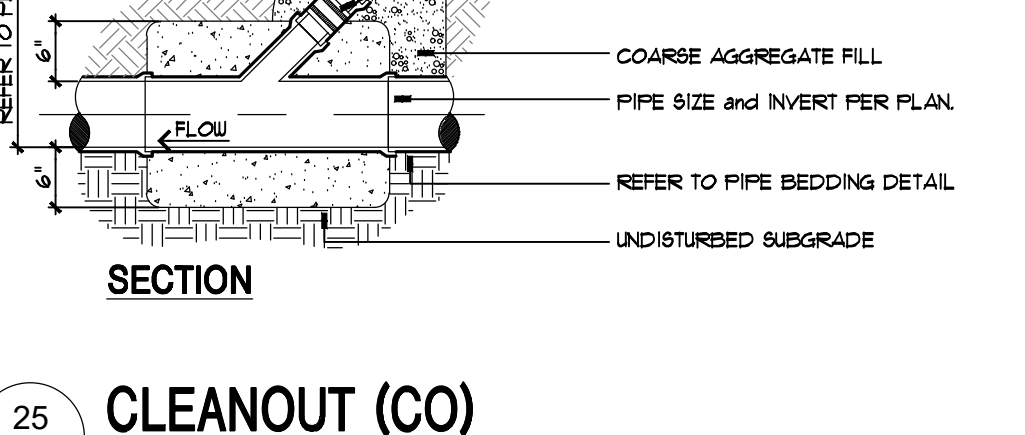
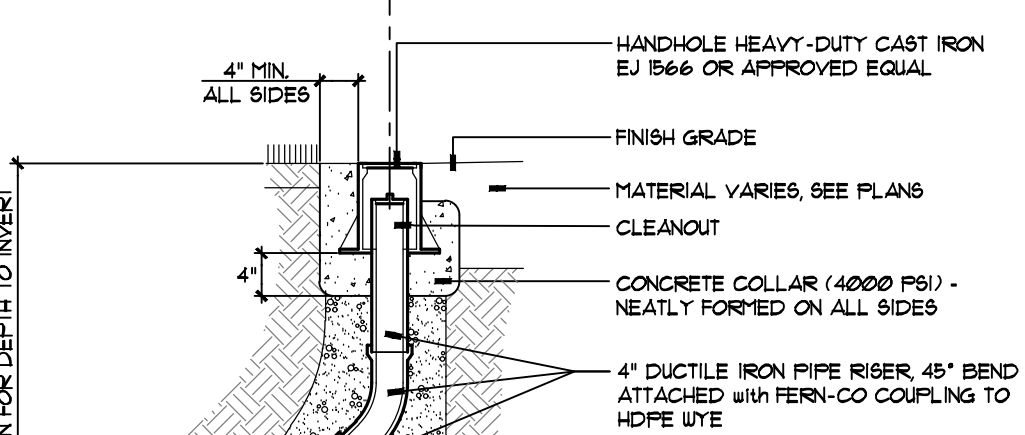
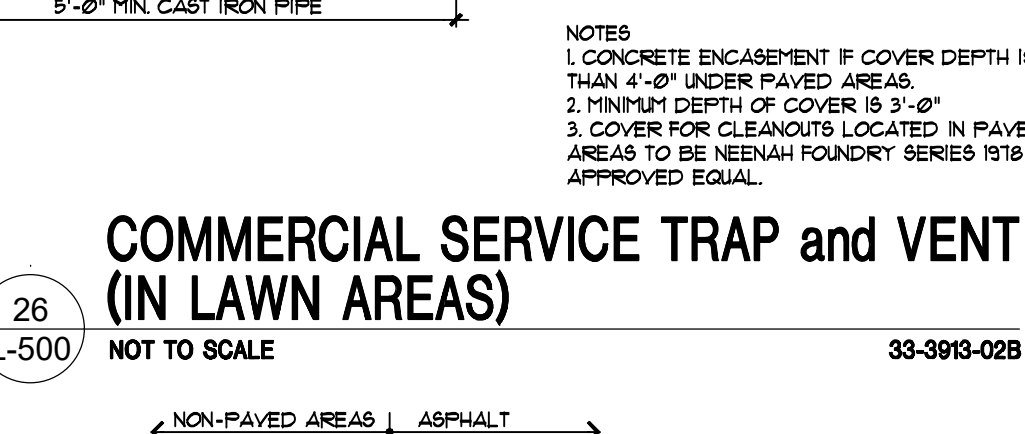
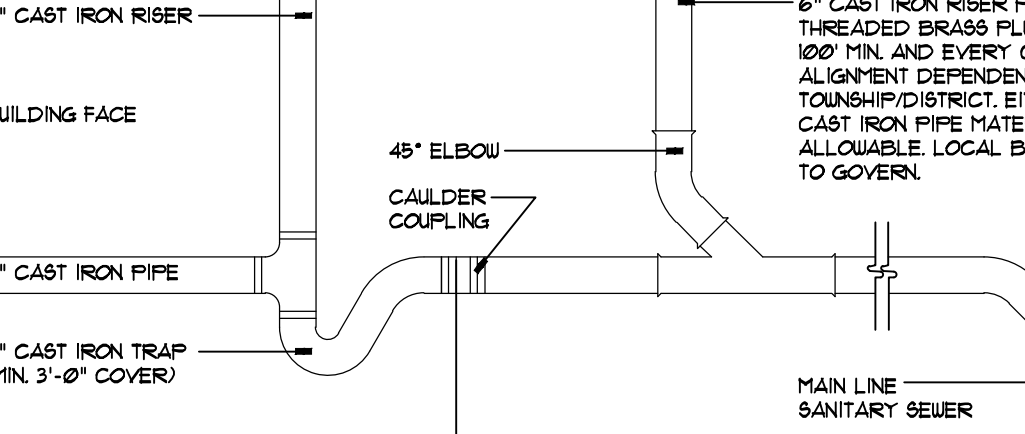
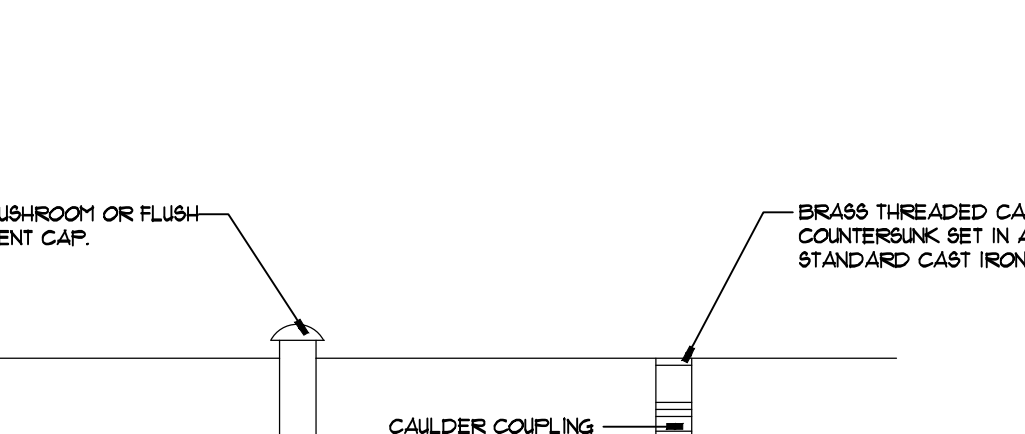
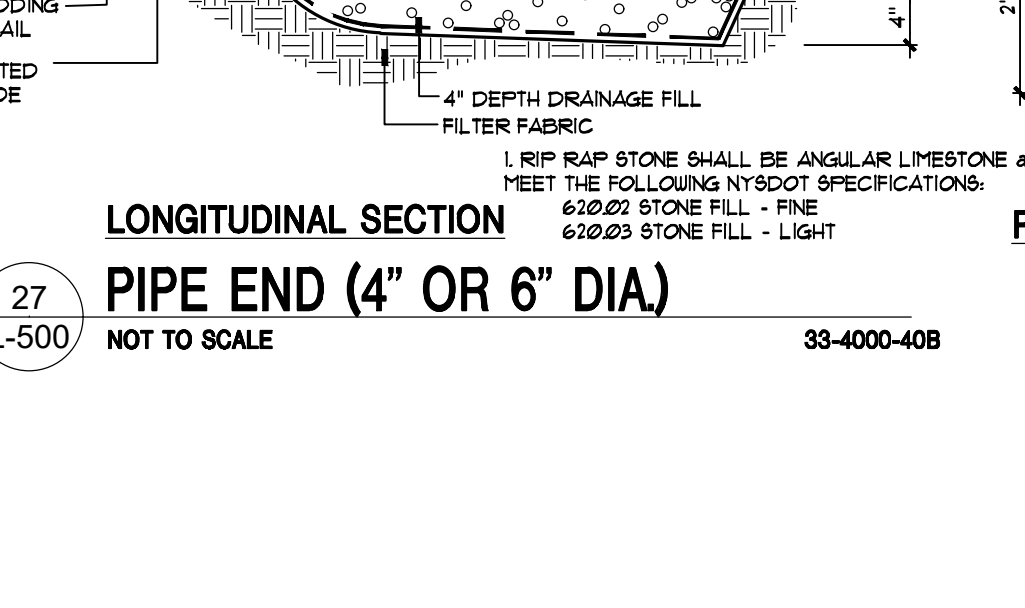
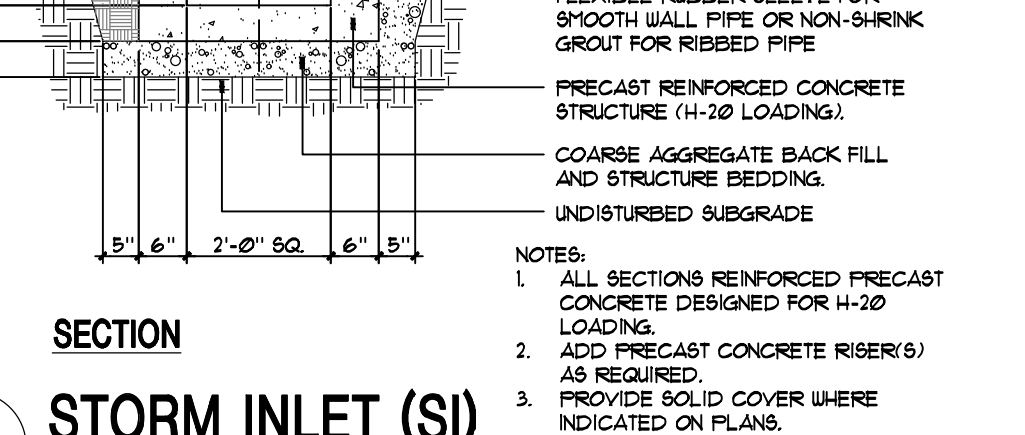
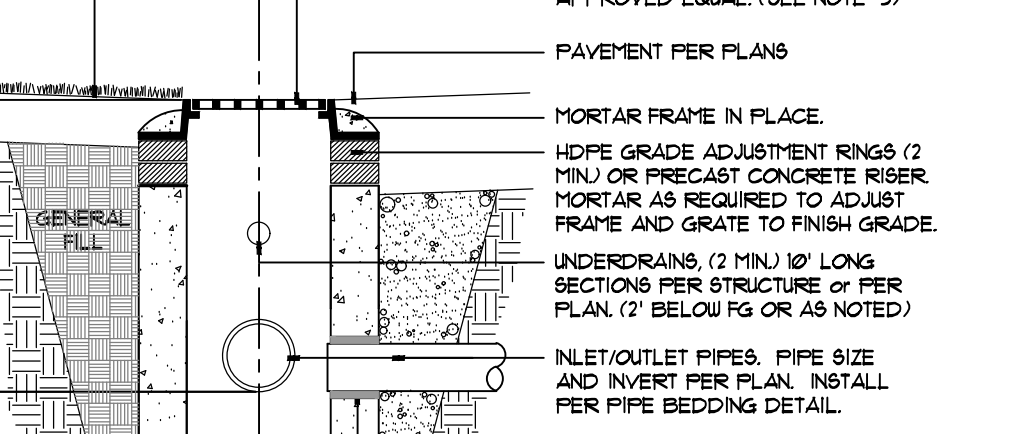
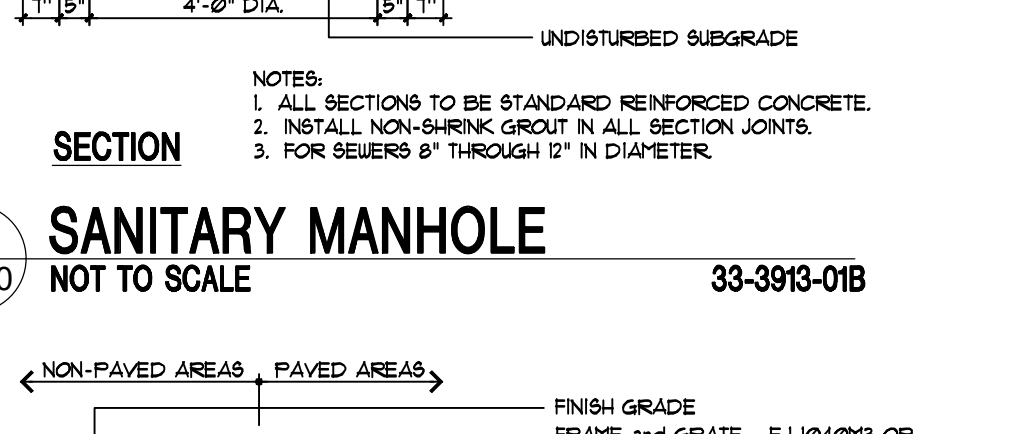
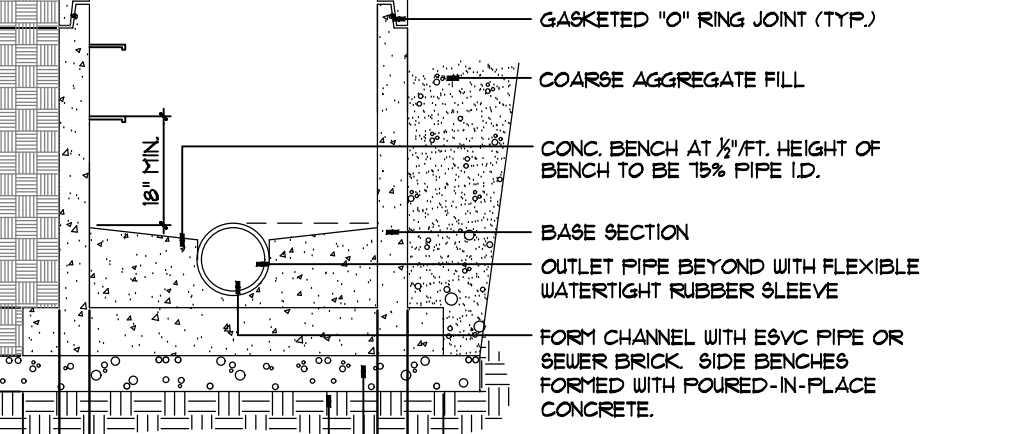
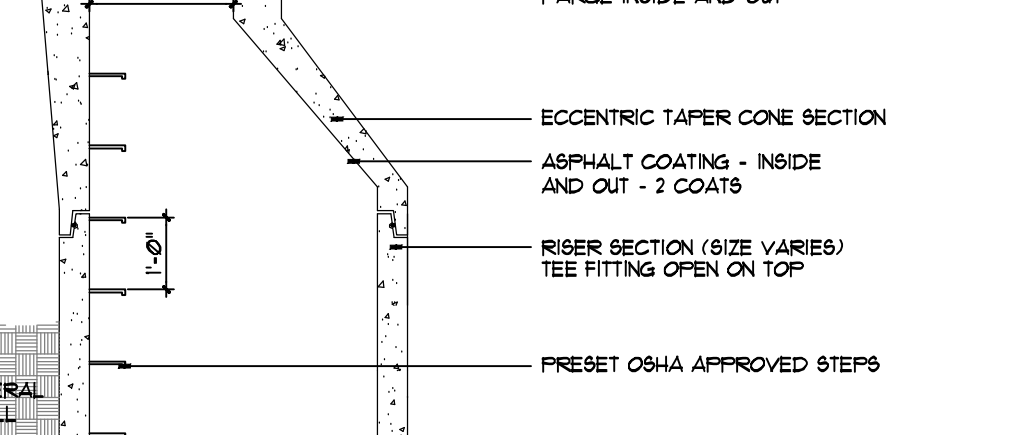
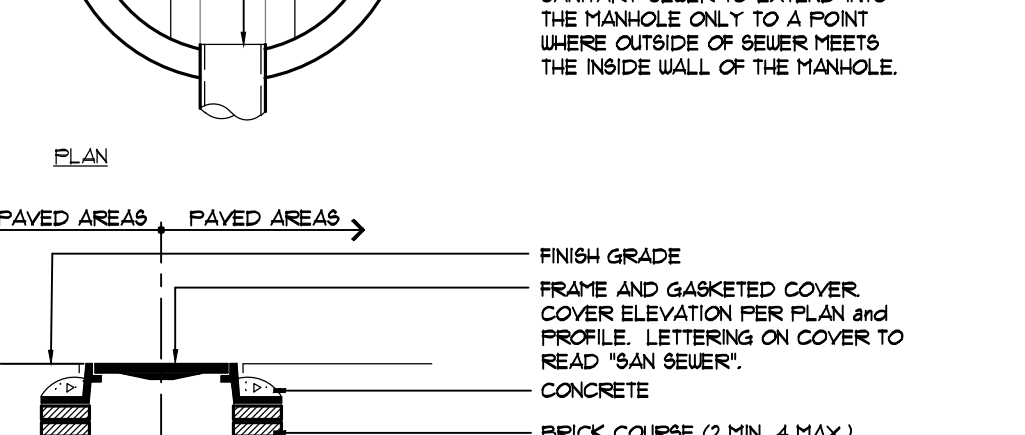
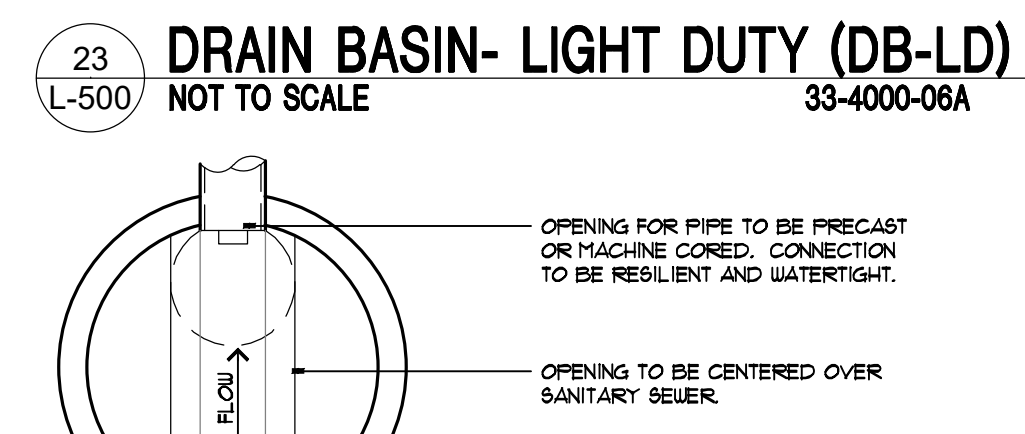
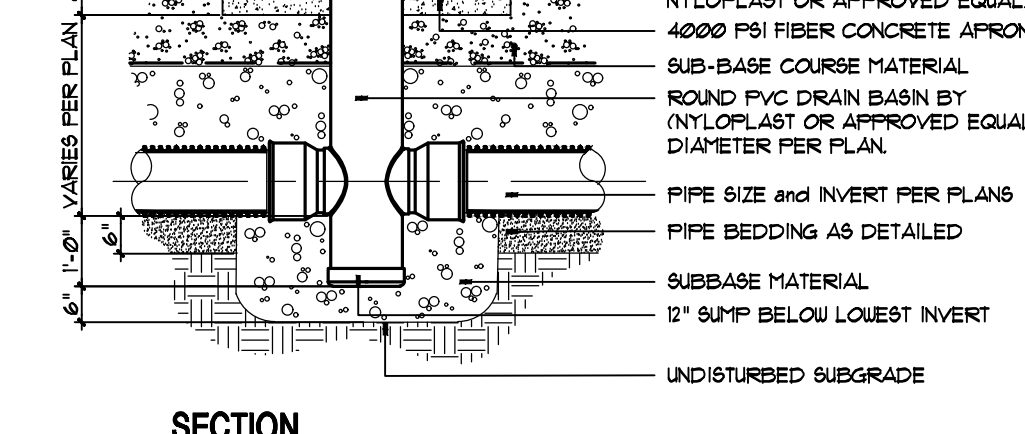
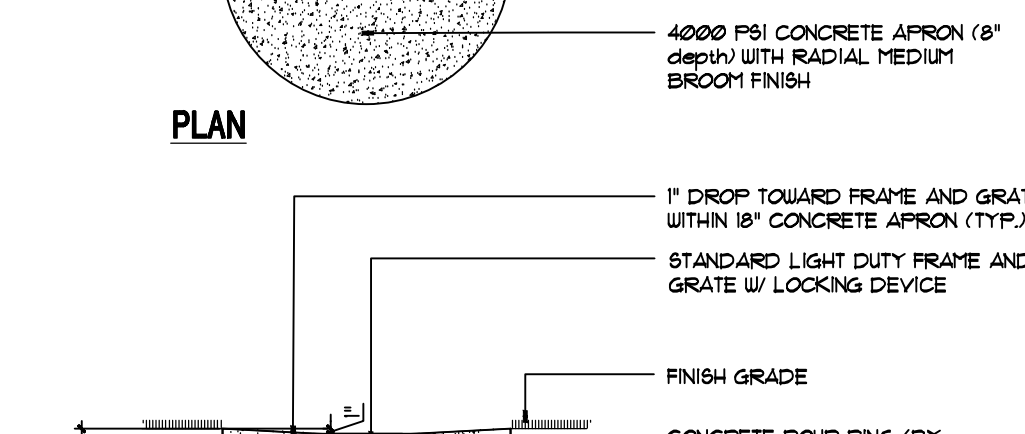
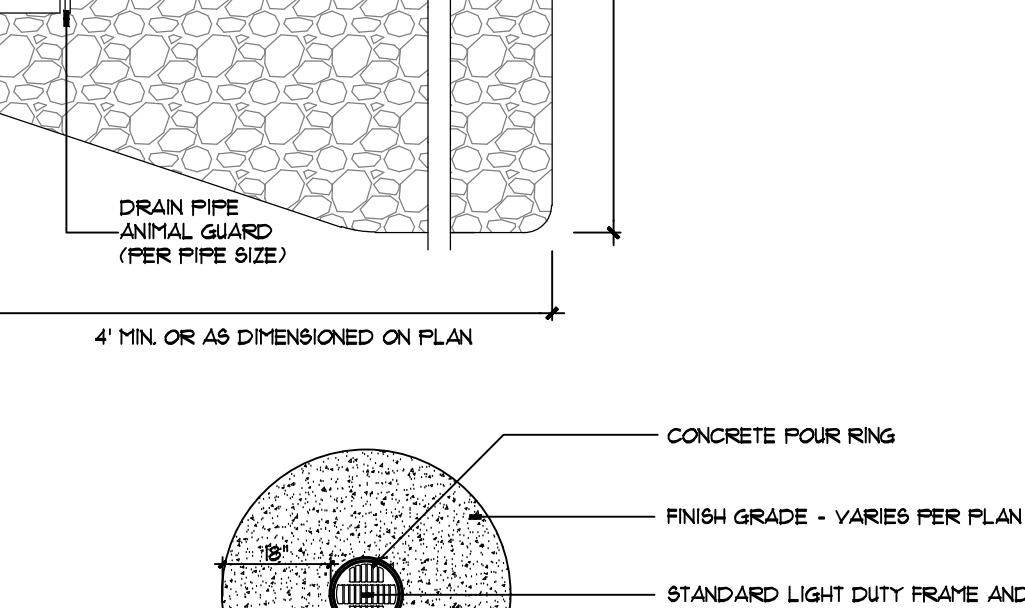
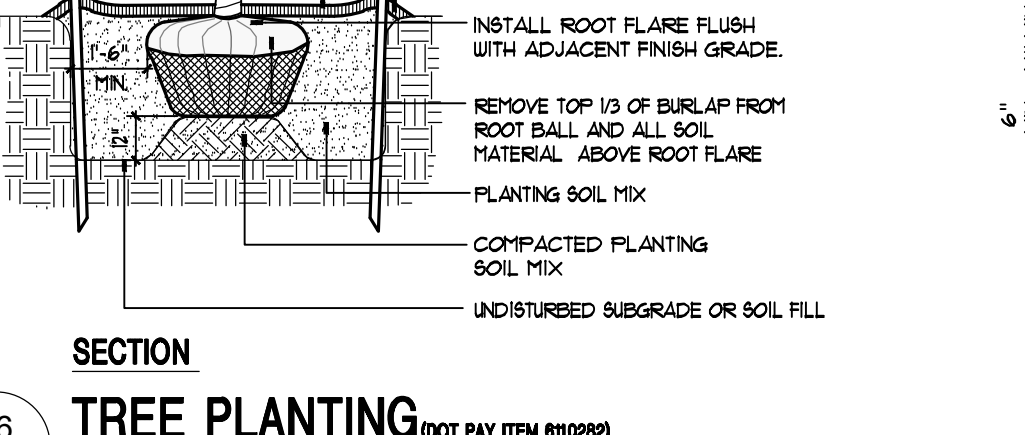
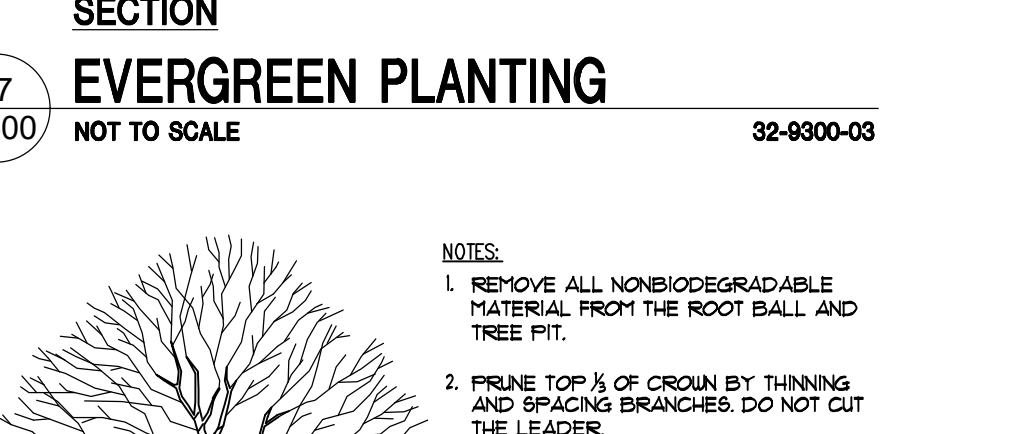
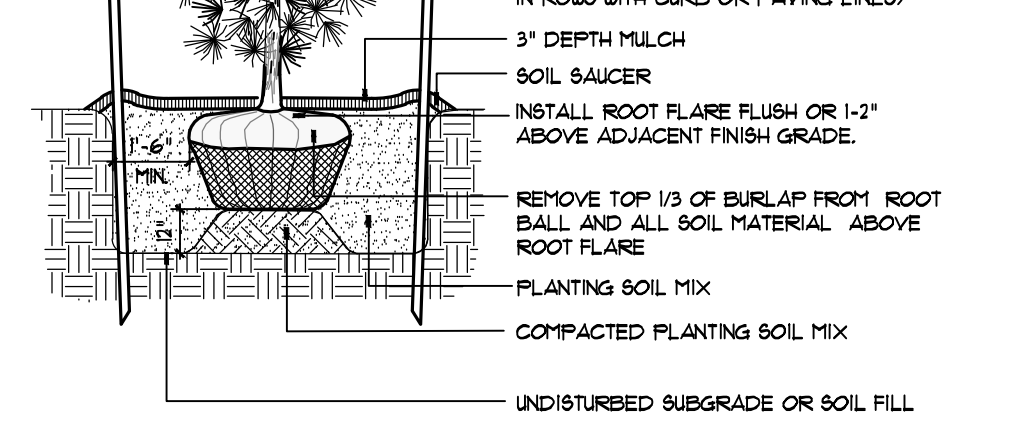
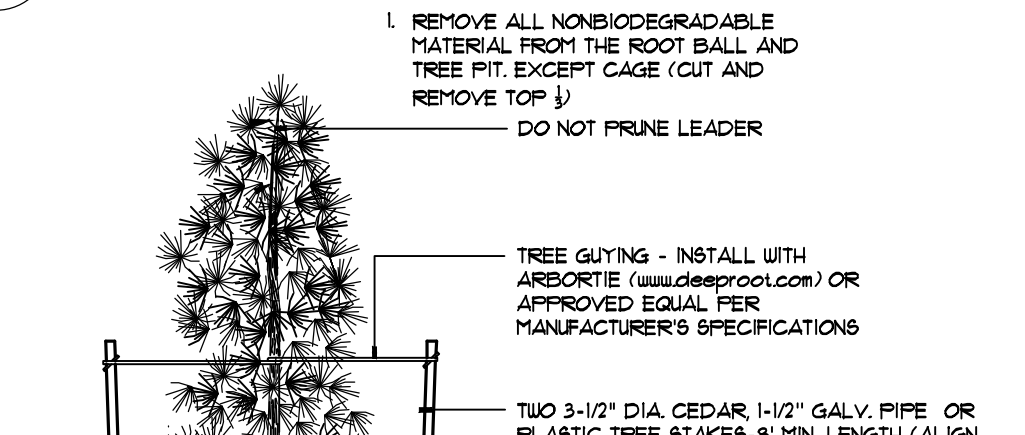
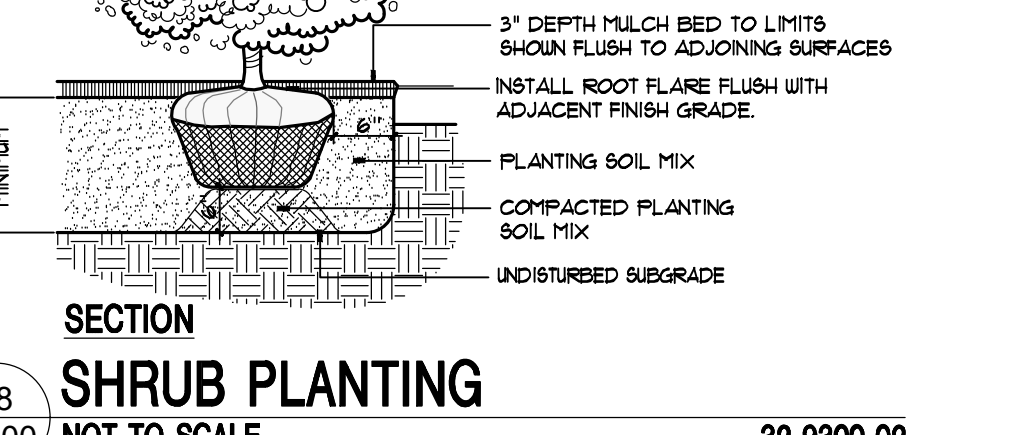
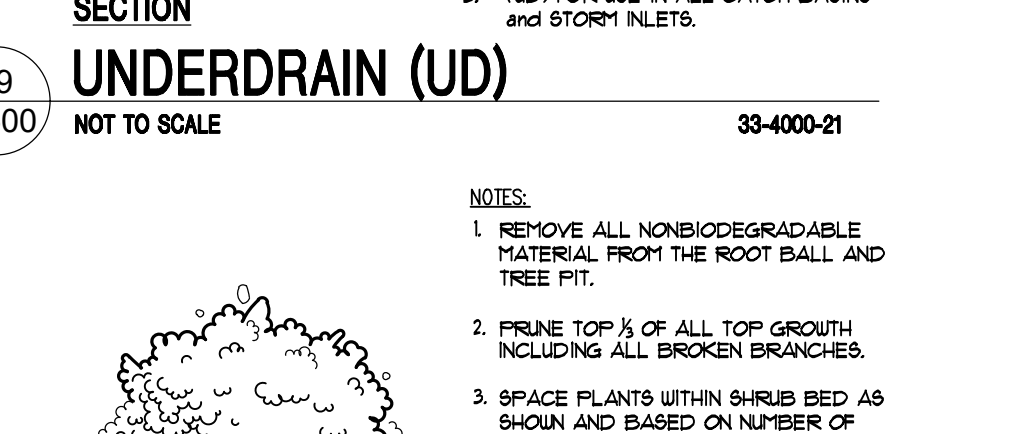
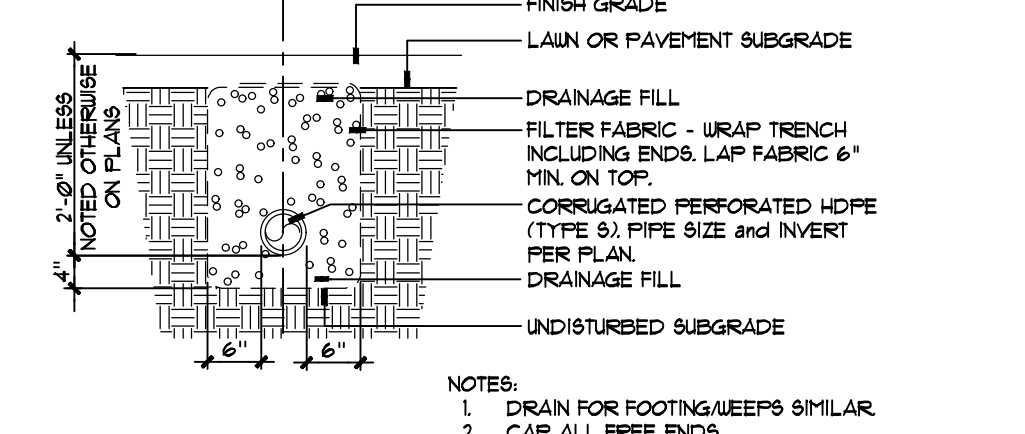
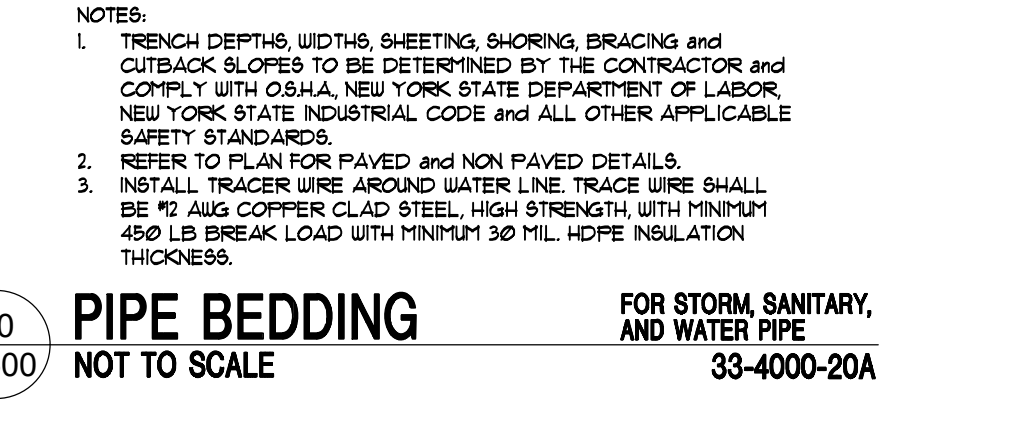
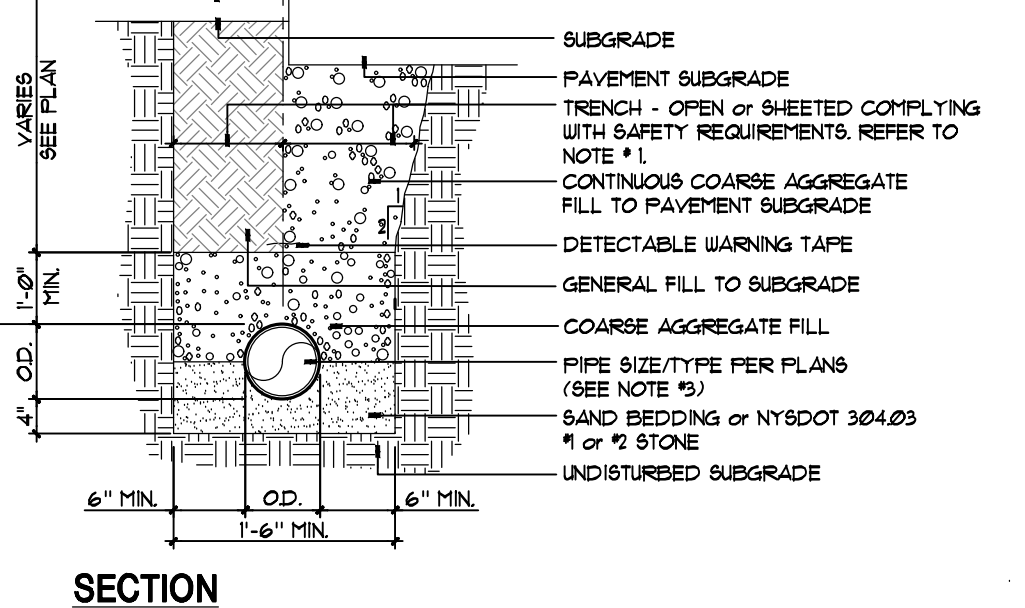
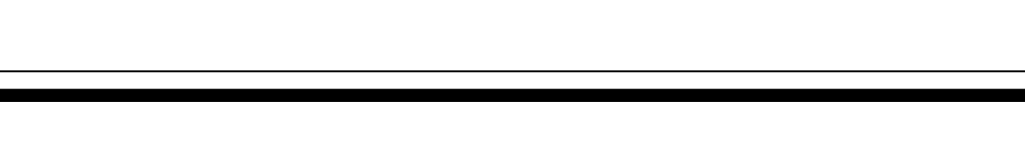
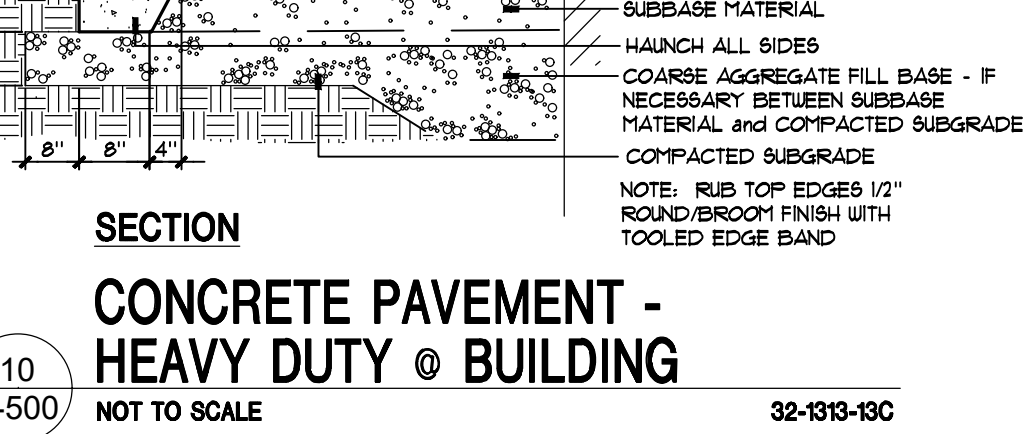
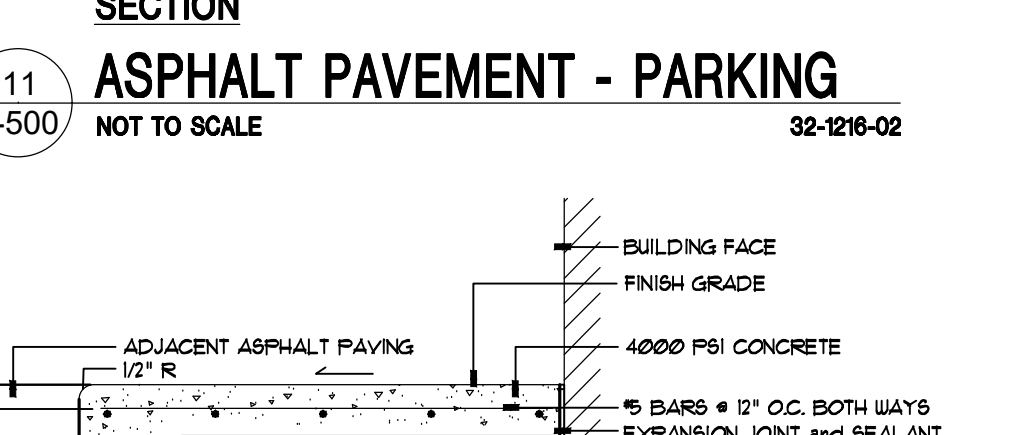
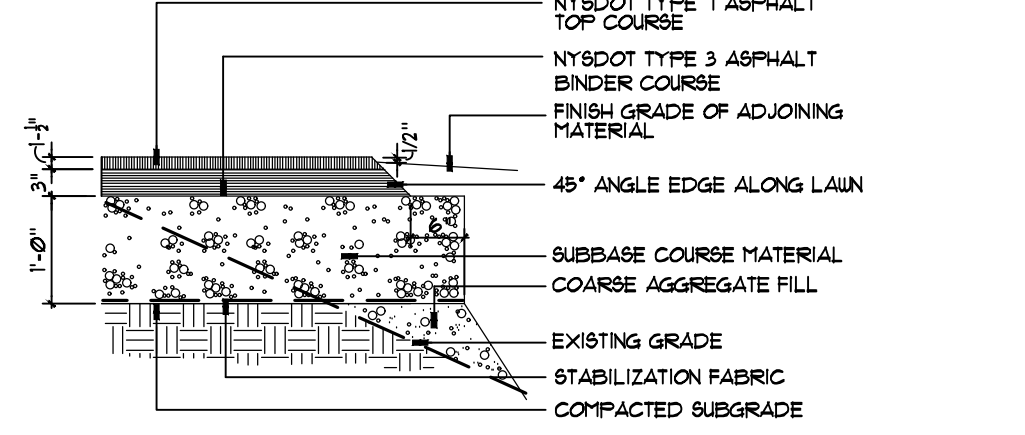
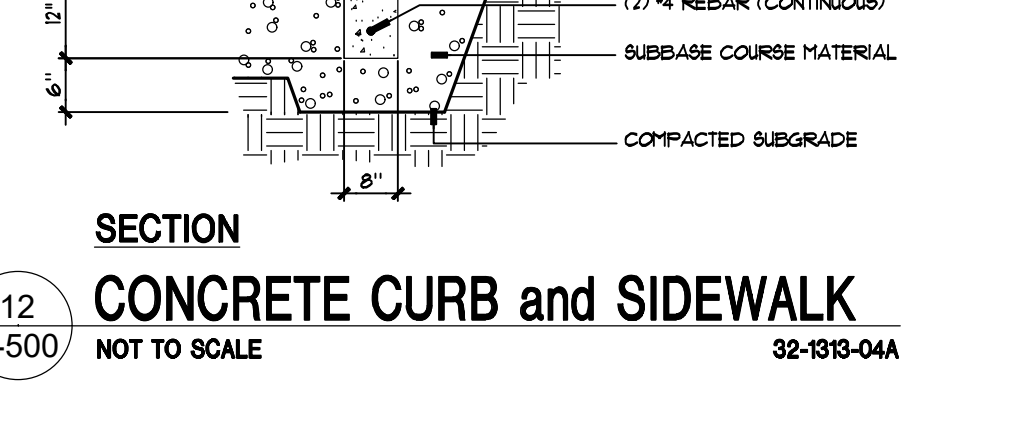
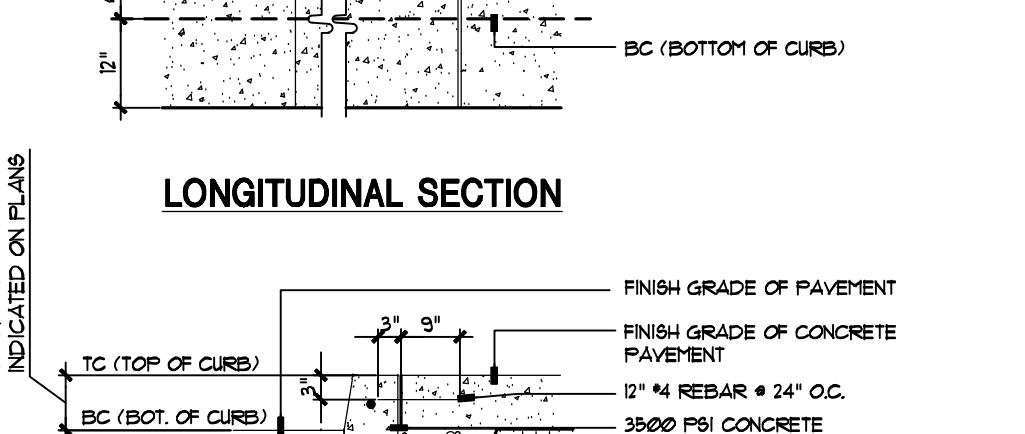
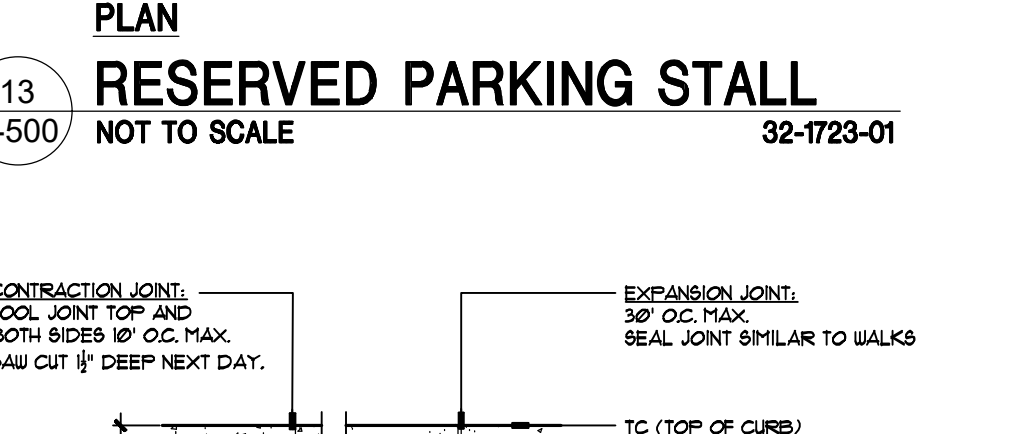
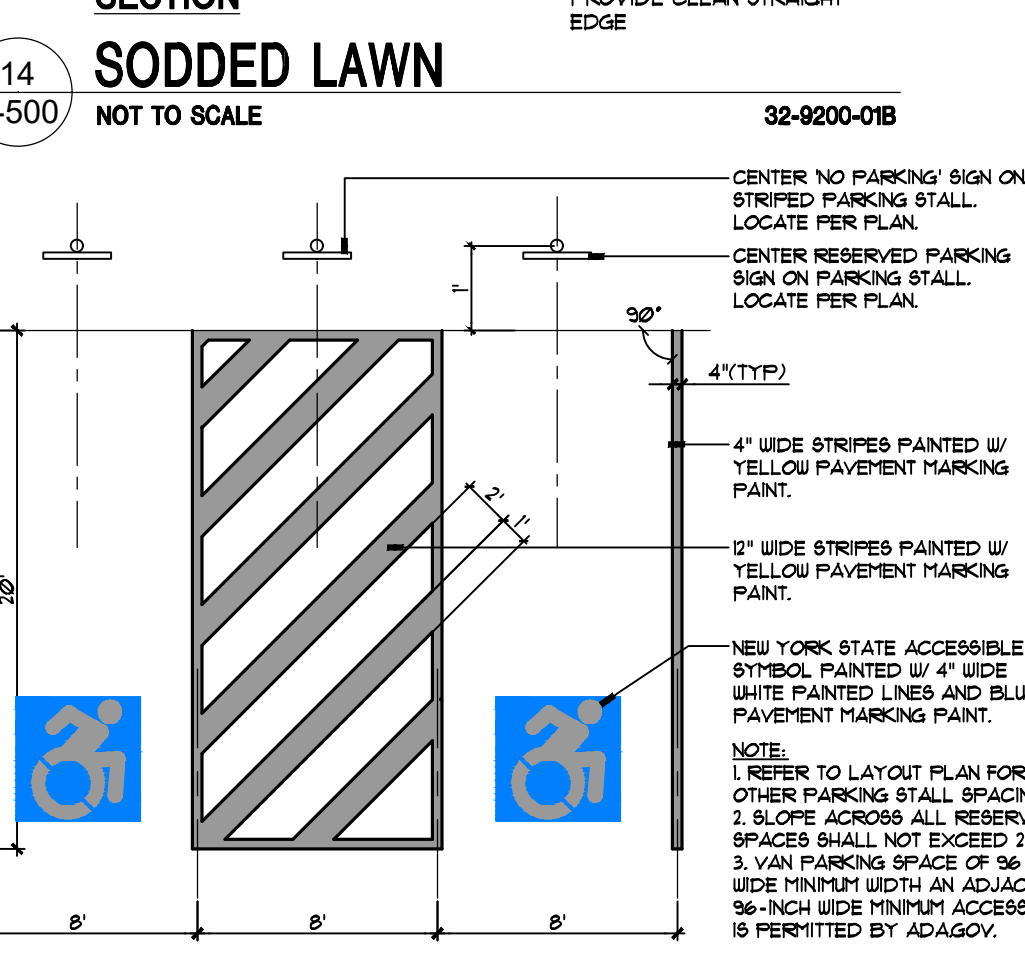
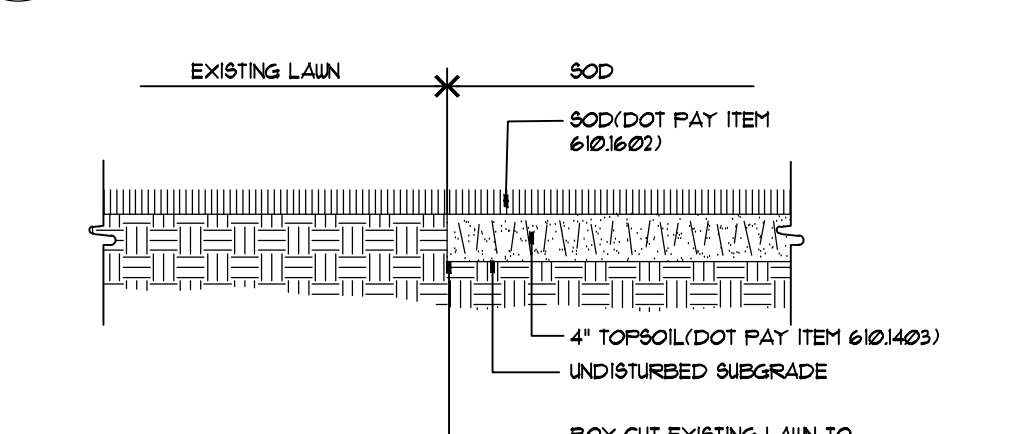
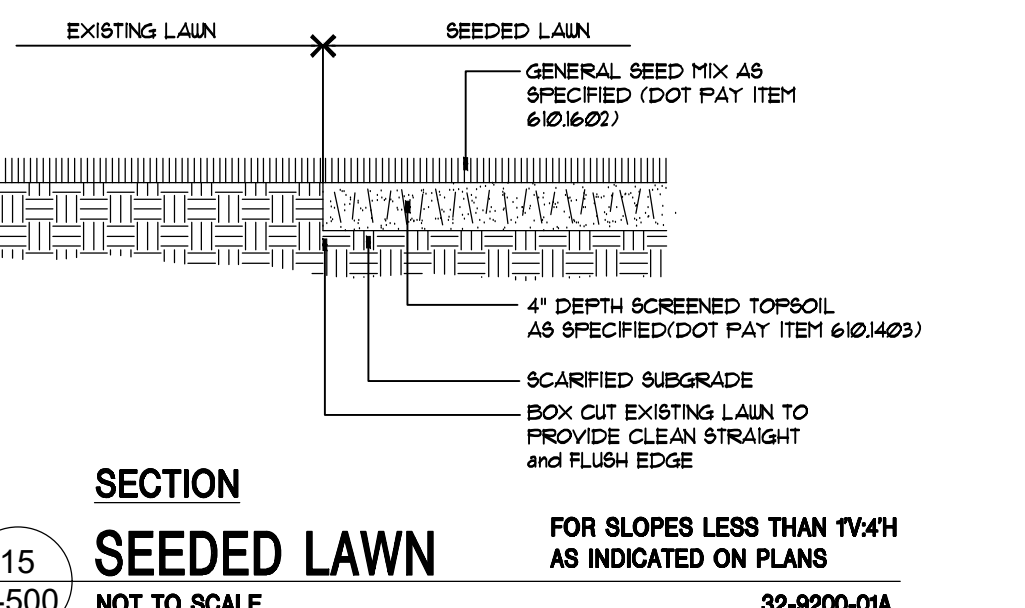
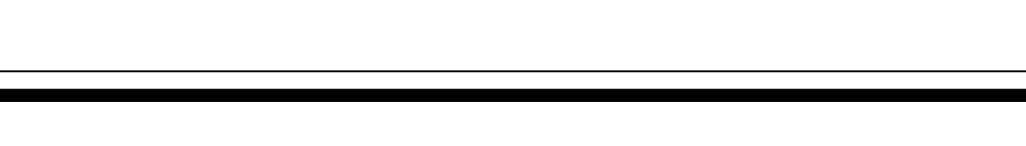
ELEVATION 8 CURB ENDING/TAPER (CE/CT) NOT TO SCALE 32-193-07



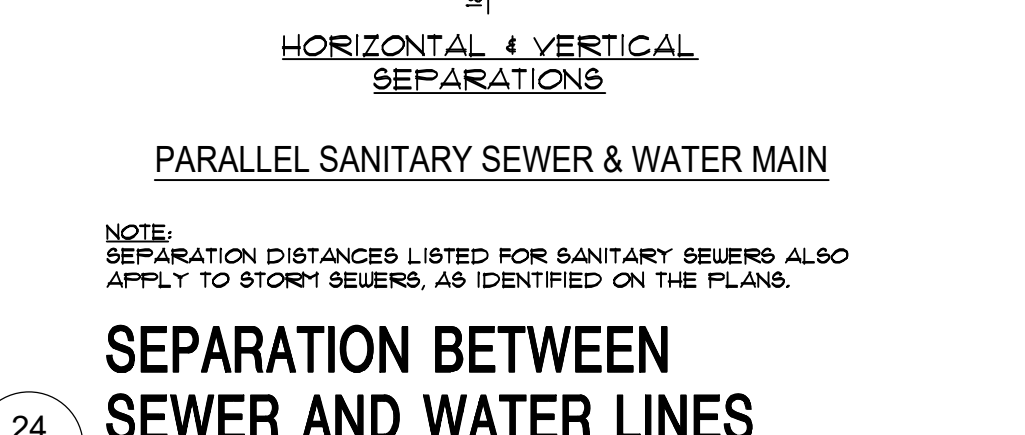
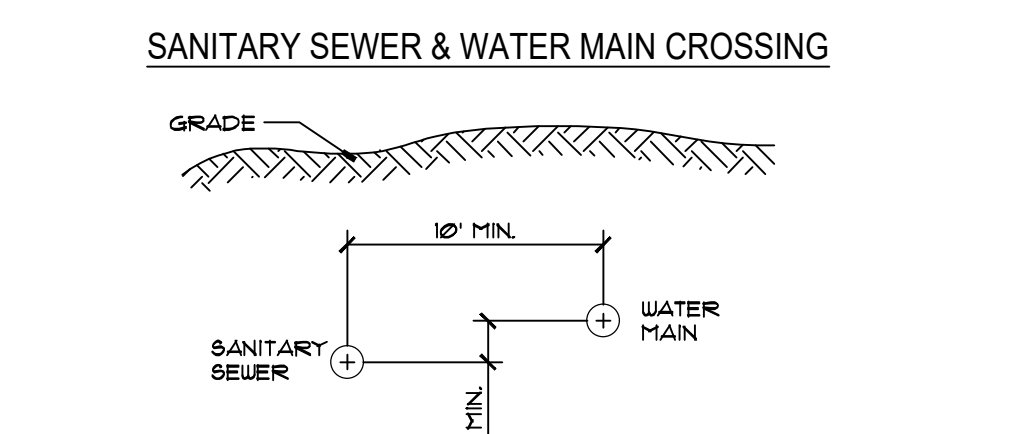
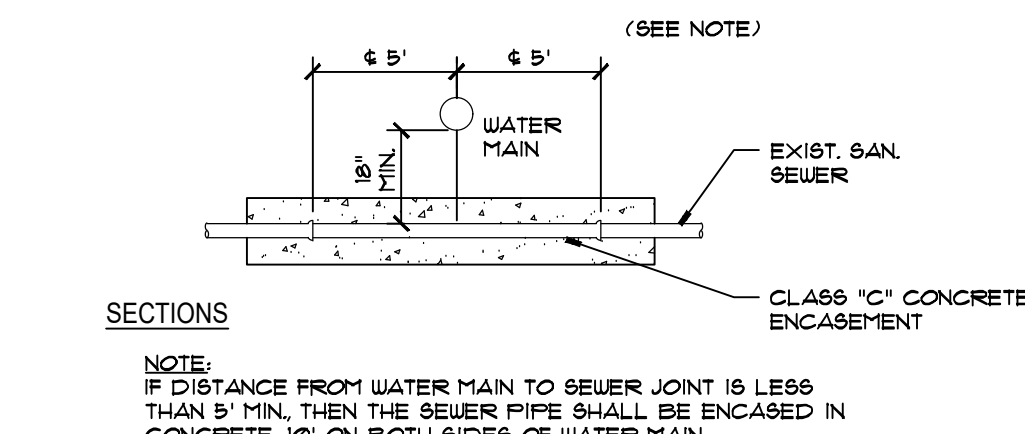
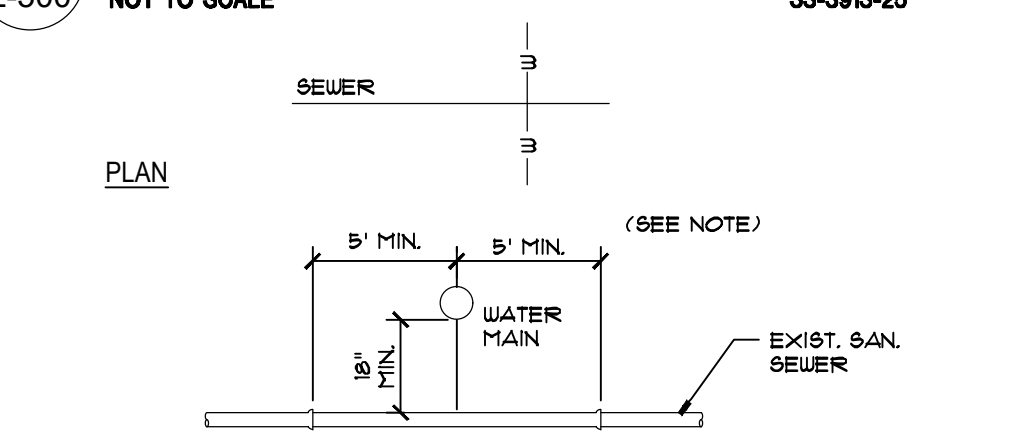
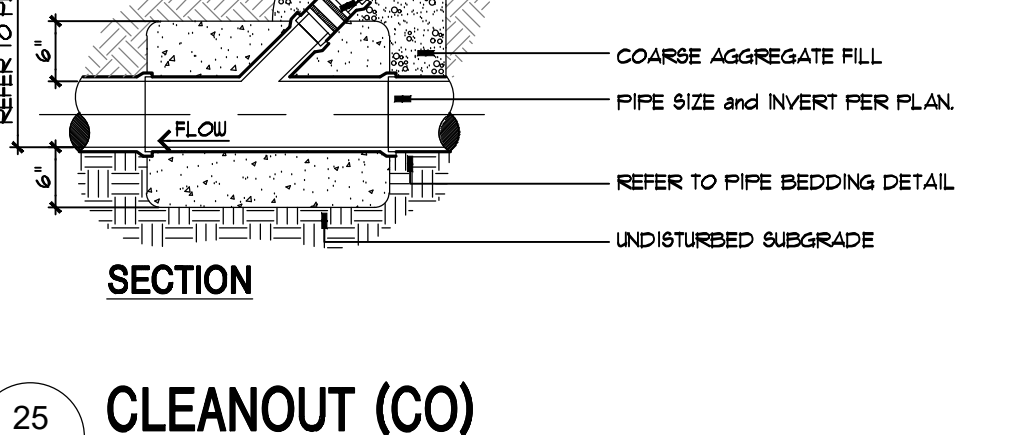
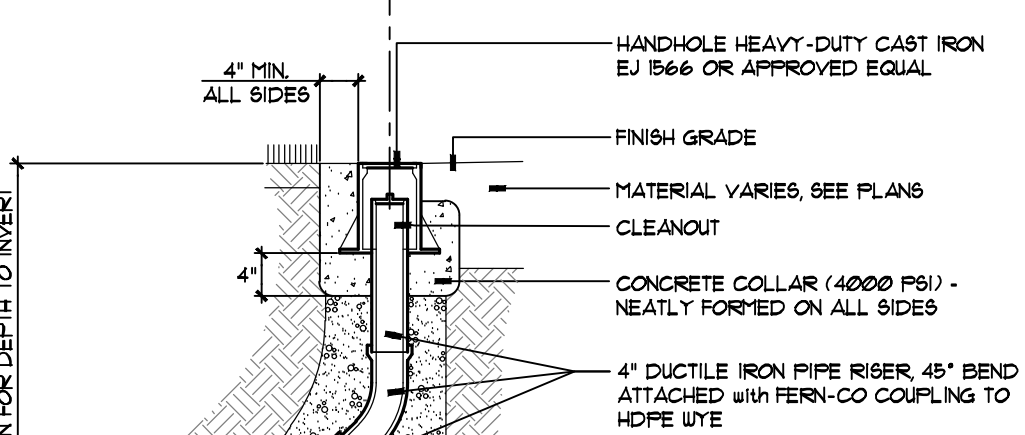
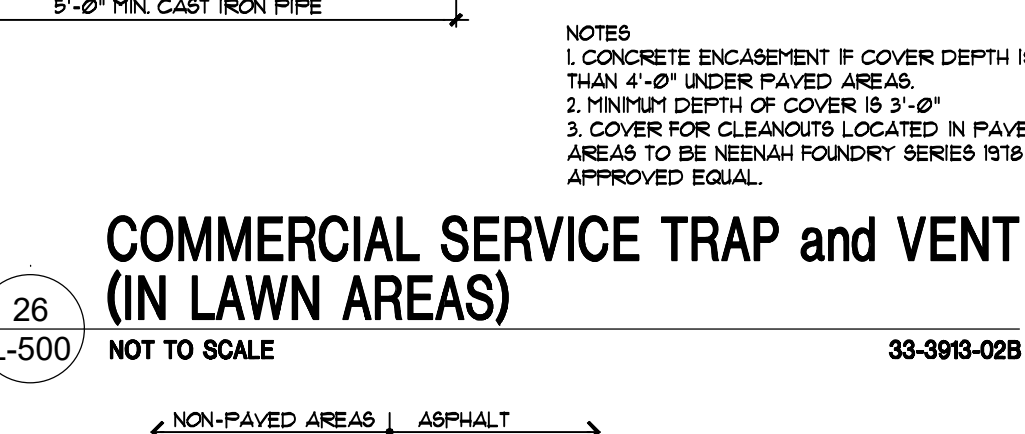
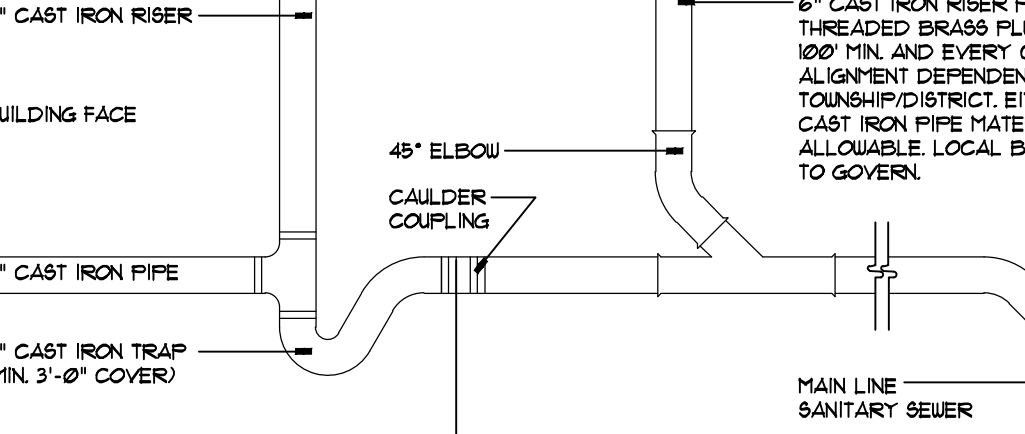
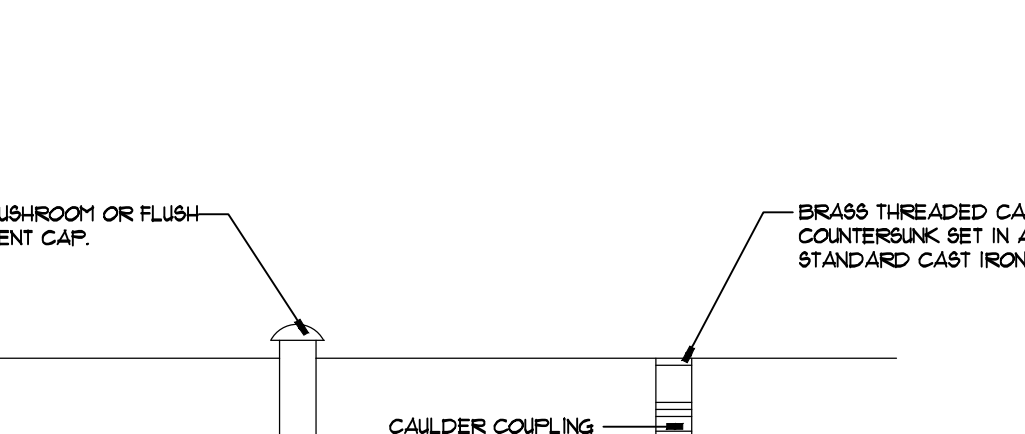
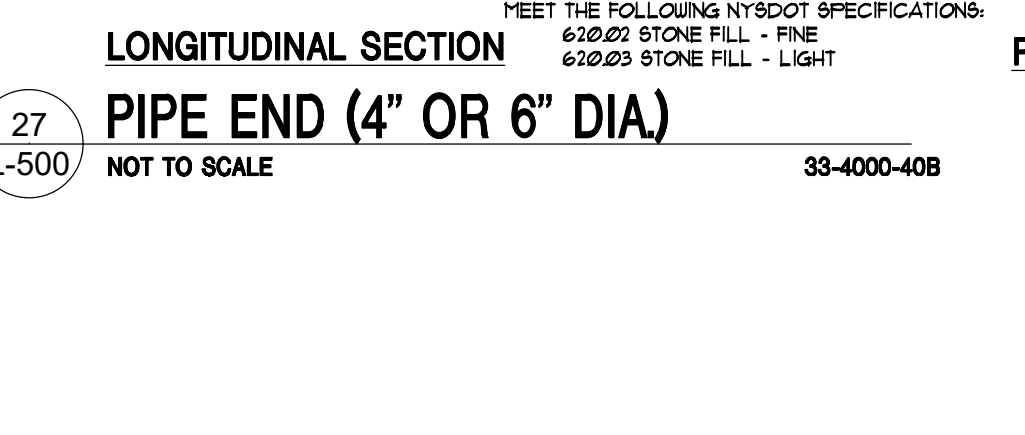
SECTION 7 WASTE ENCLOSURE PAD- HEAVY DUTY NOT TO SCALE 32-193-02D



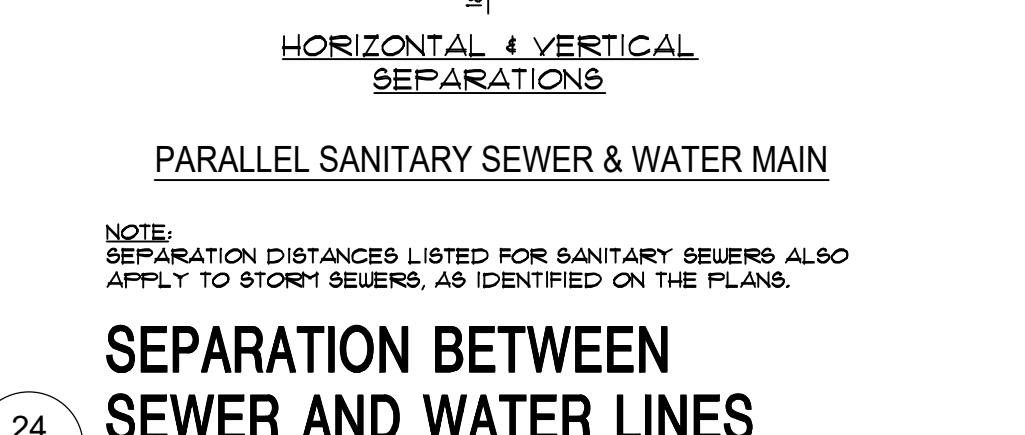
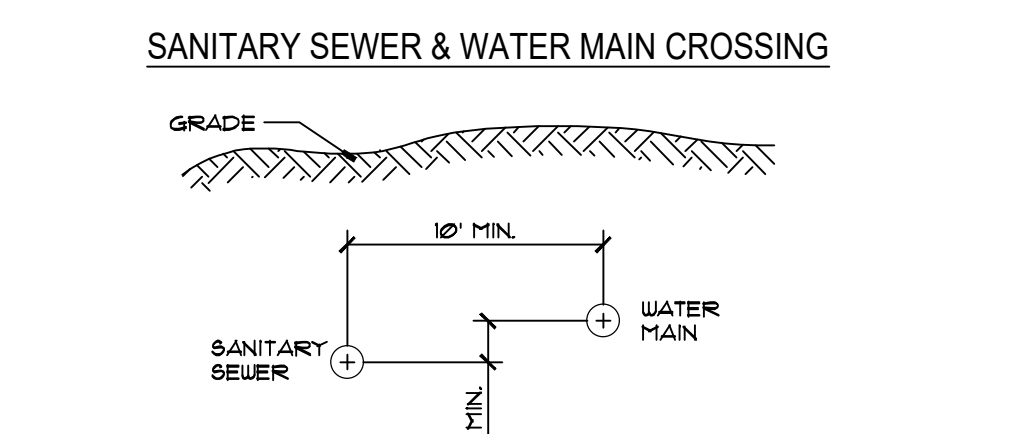
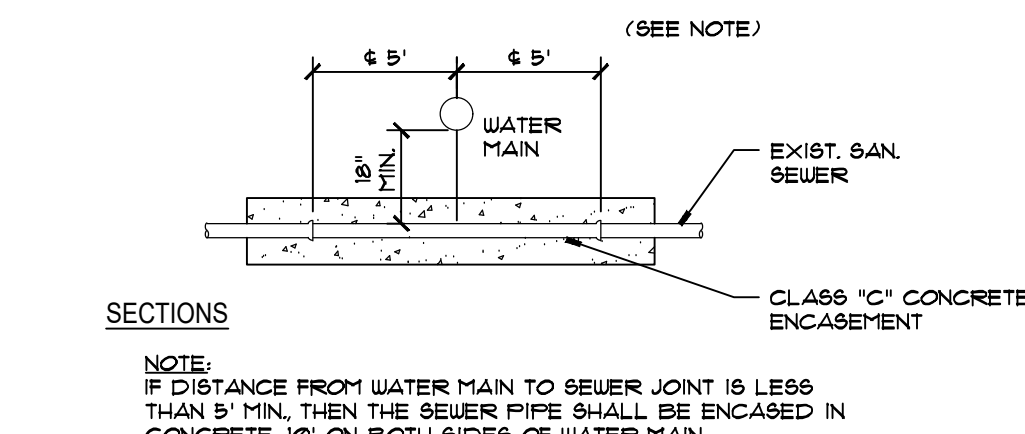
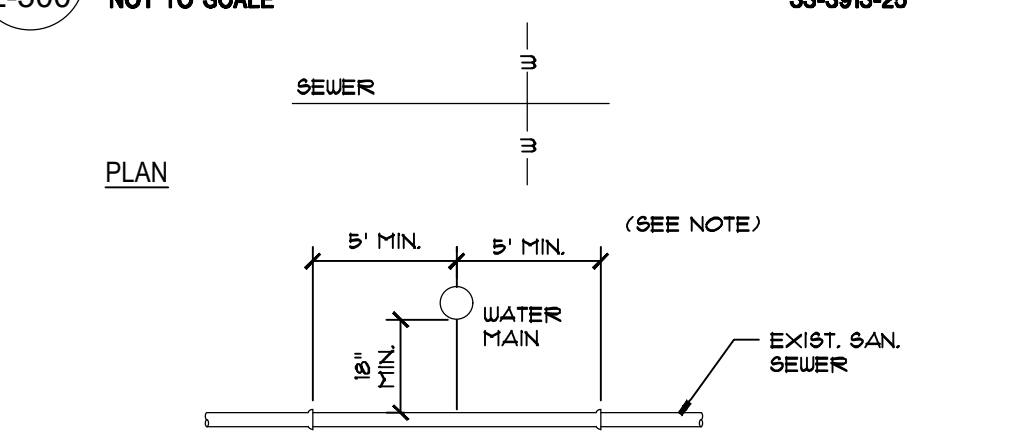
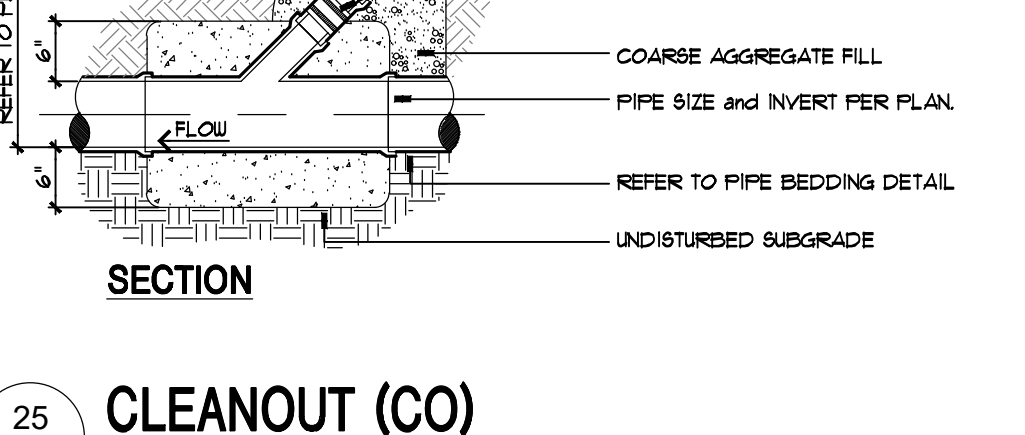
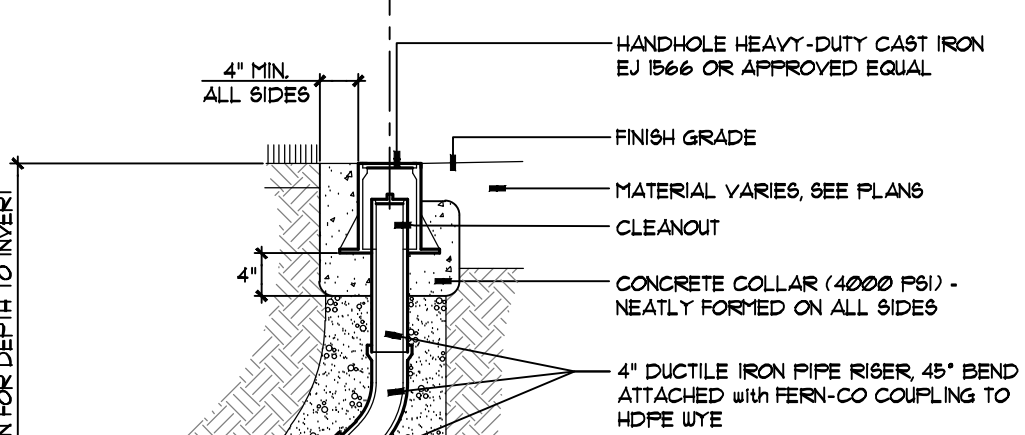
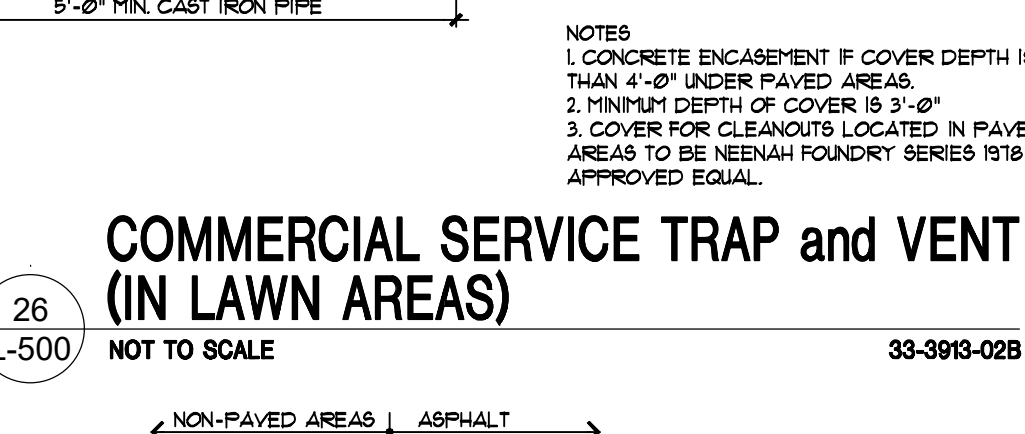
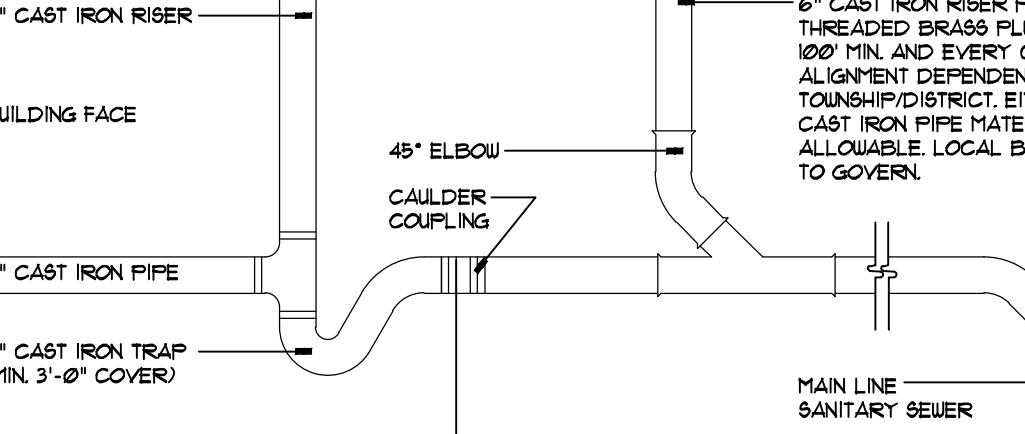
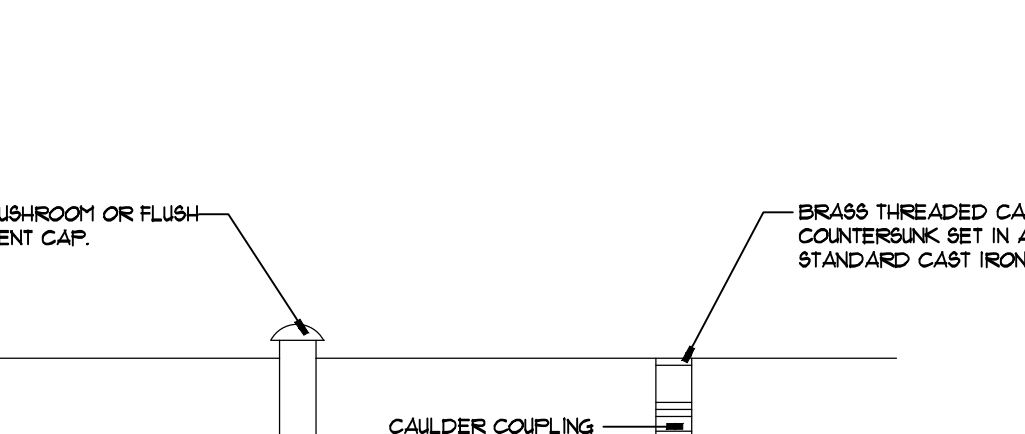
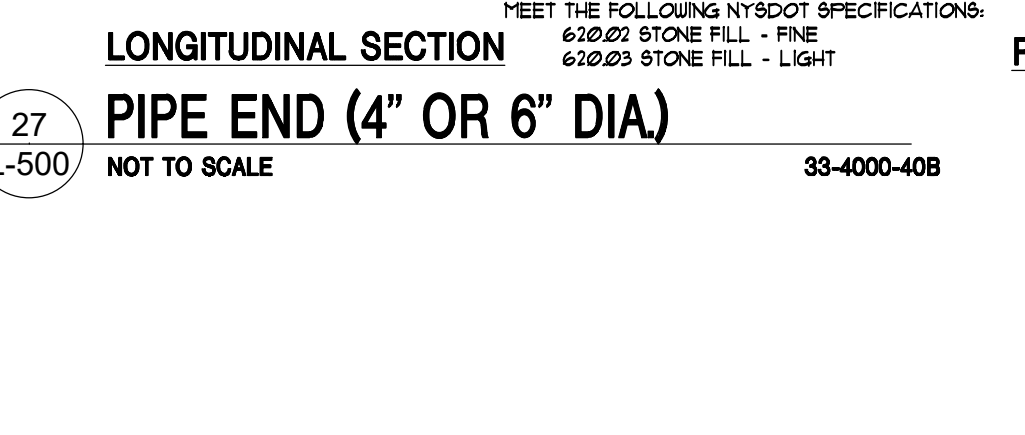
SECTION 1 SILT FENCE (SF) NOT TO SCALE 31-100-01



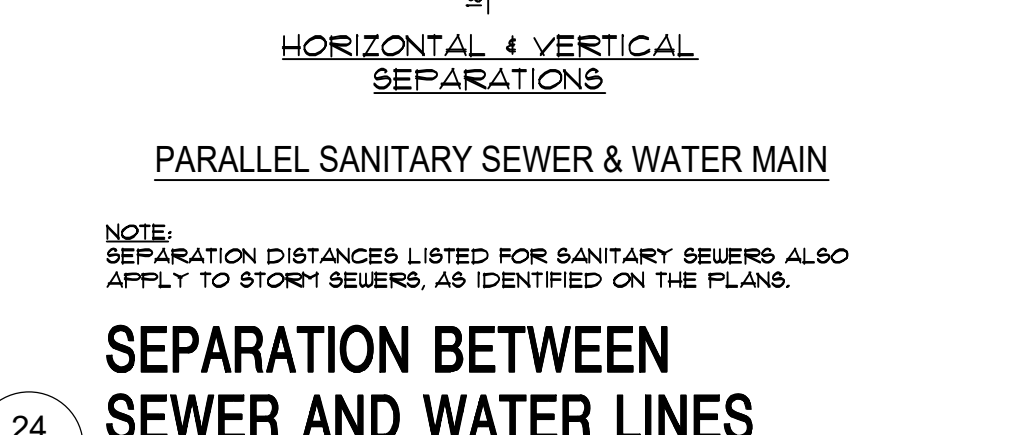
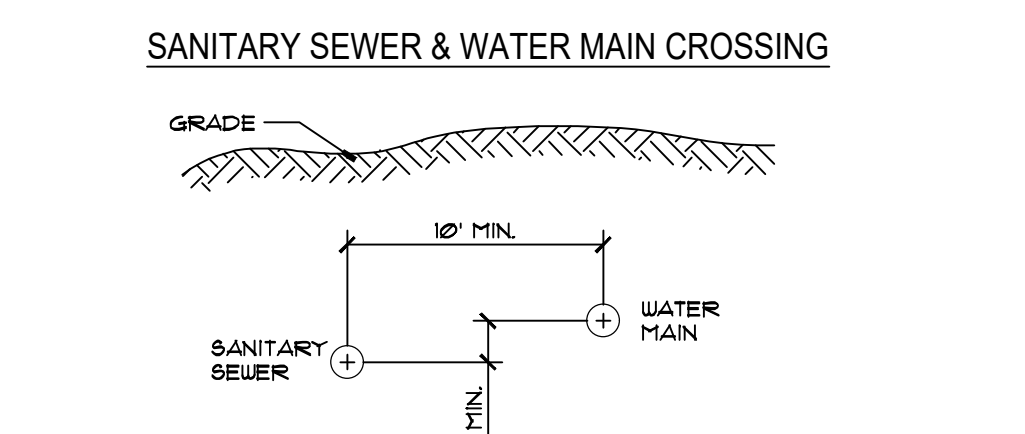
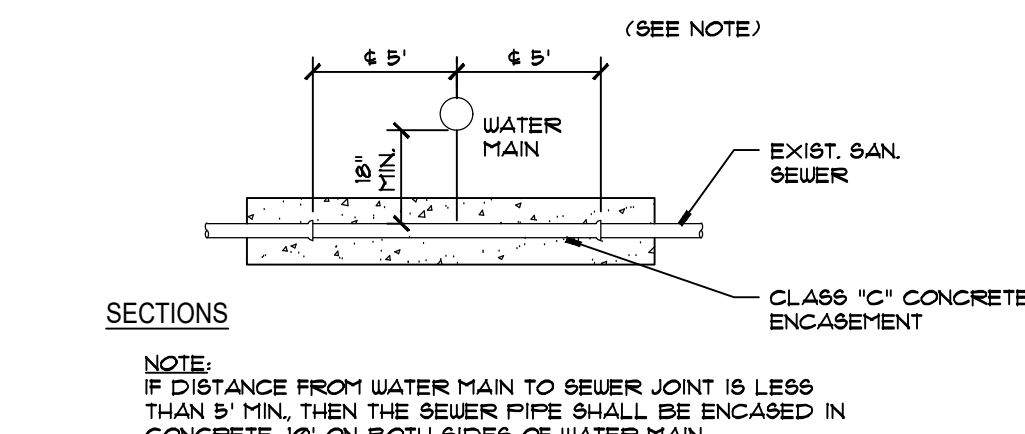
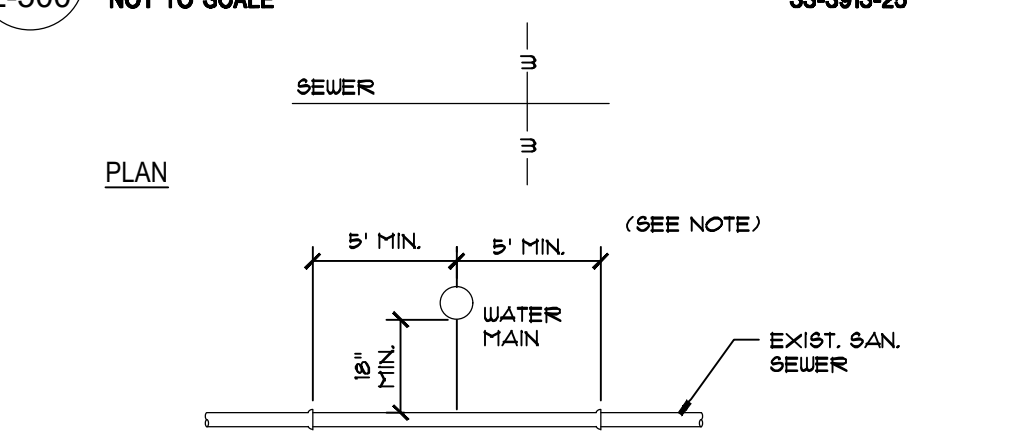
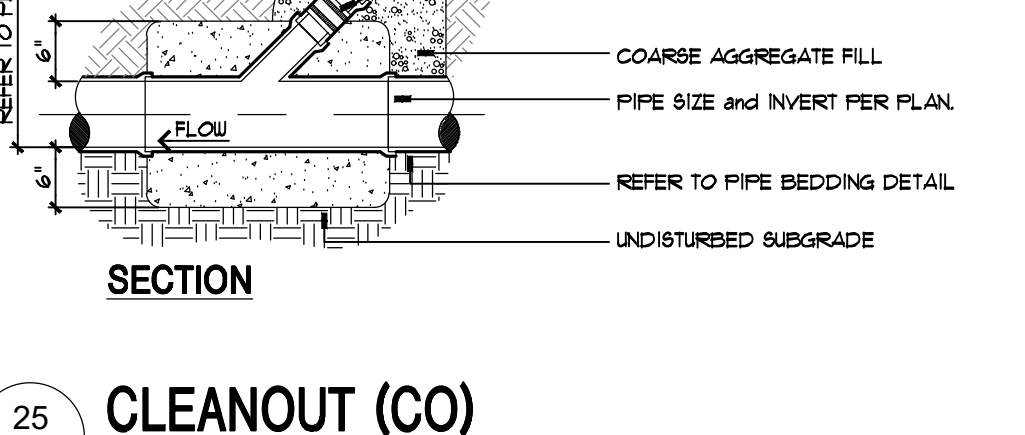
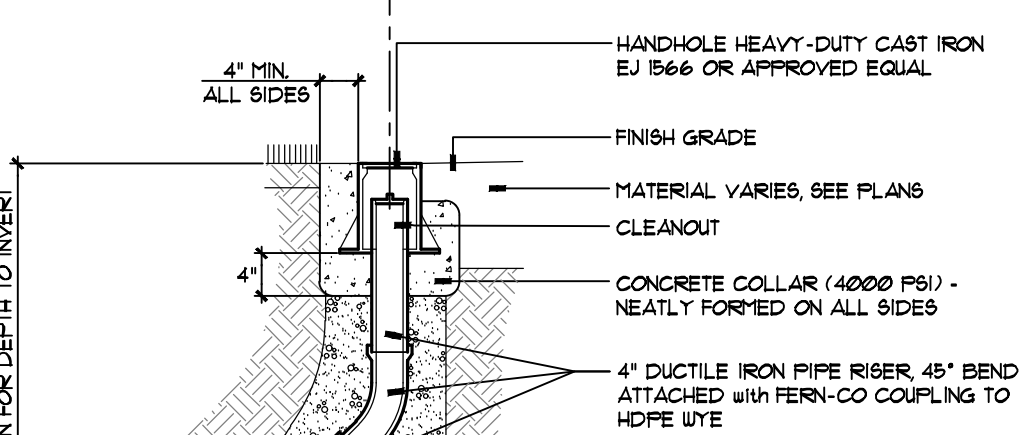
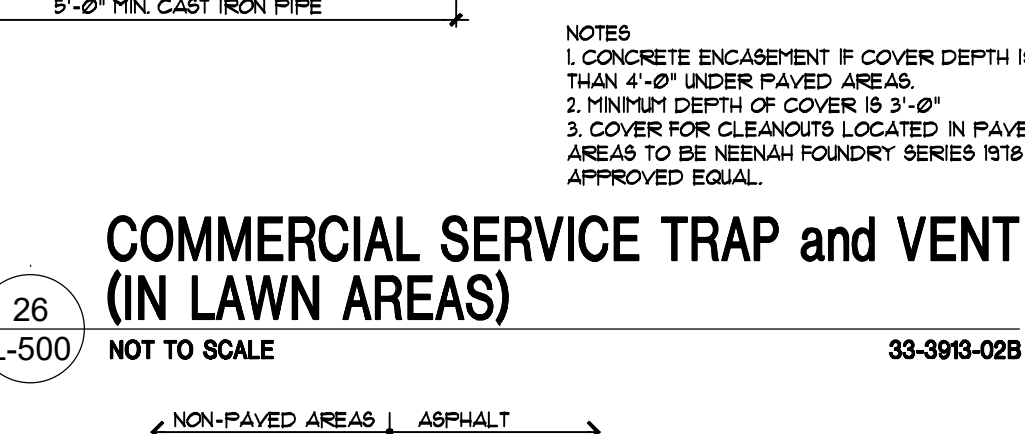
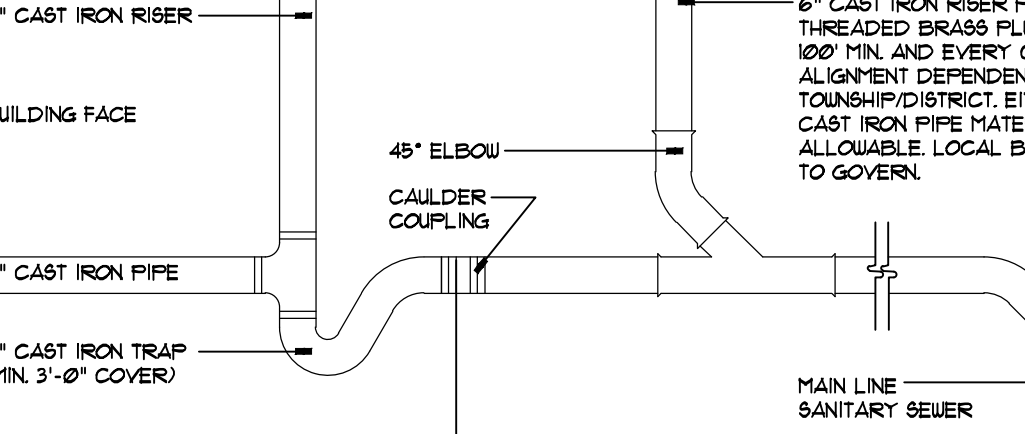
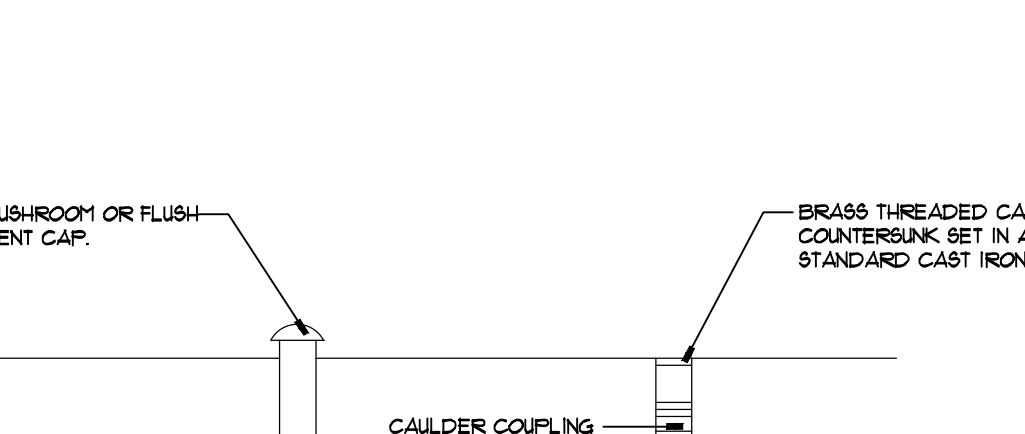
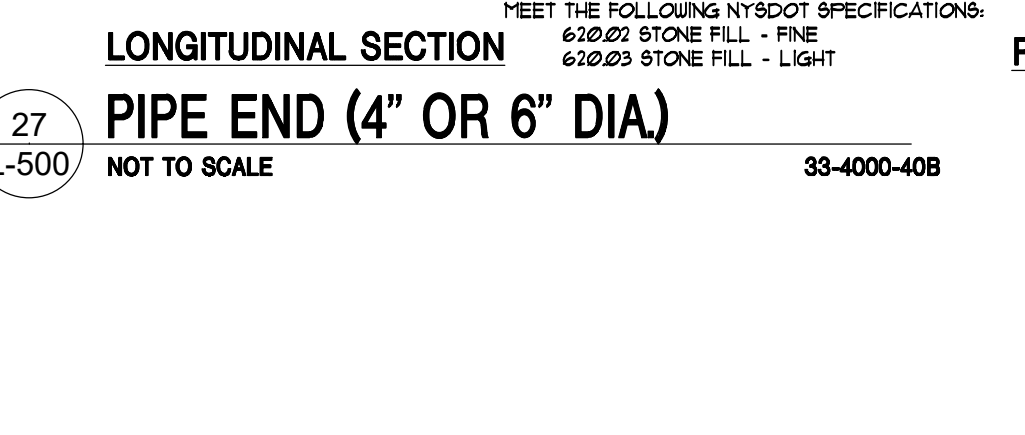
SECTION 27 PIPE END (4\"/>



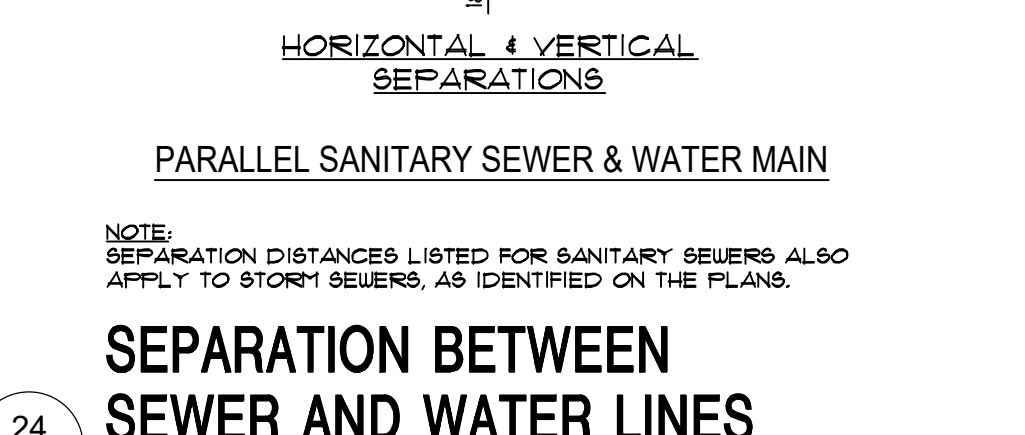
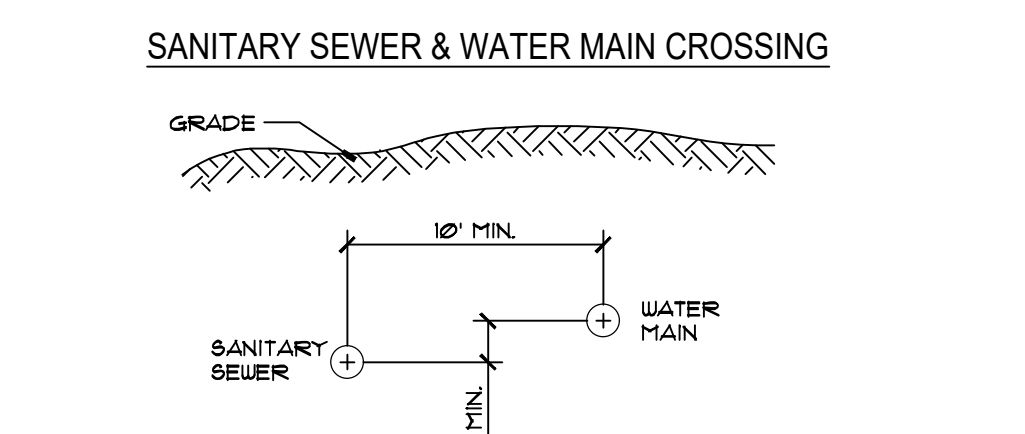
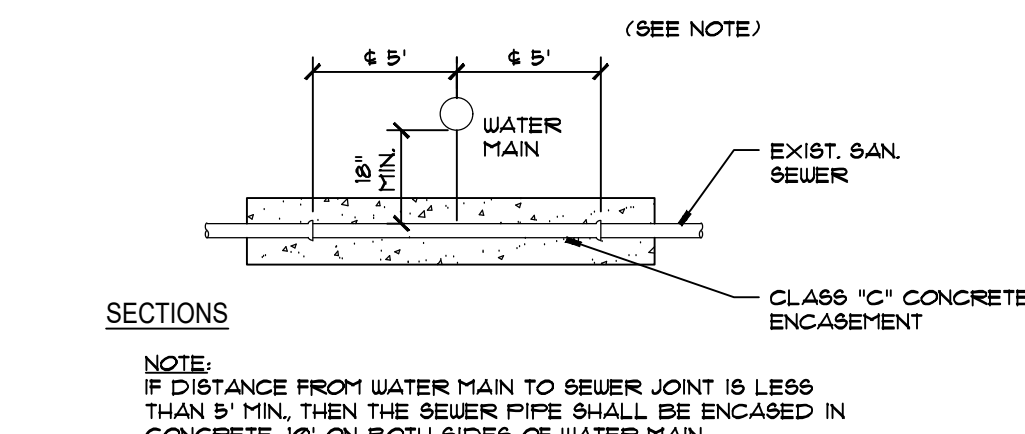
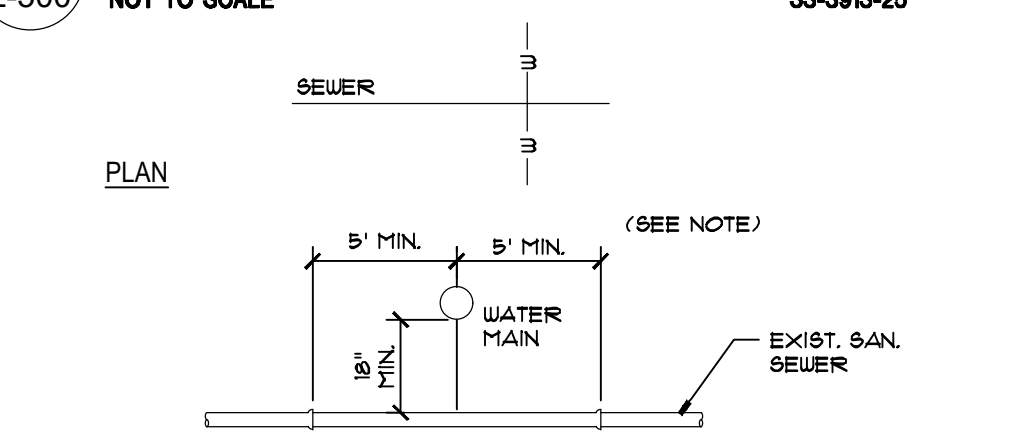
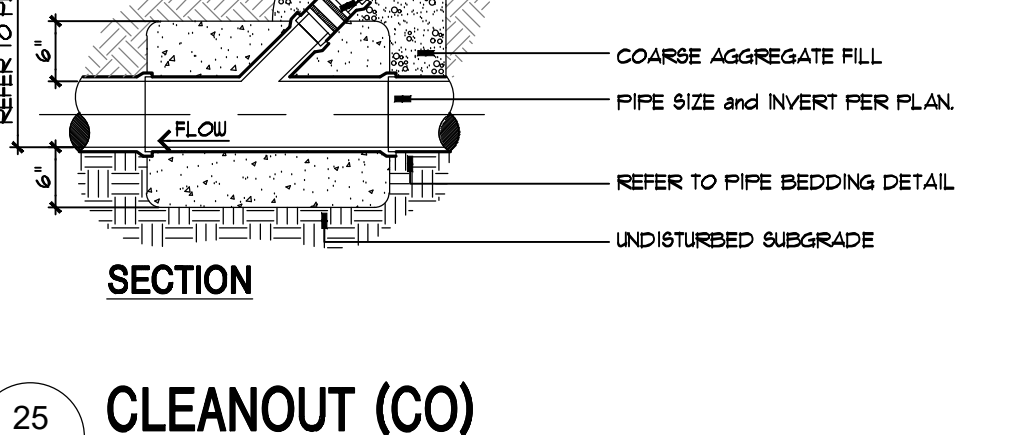
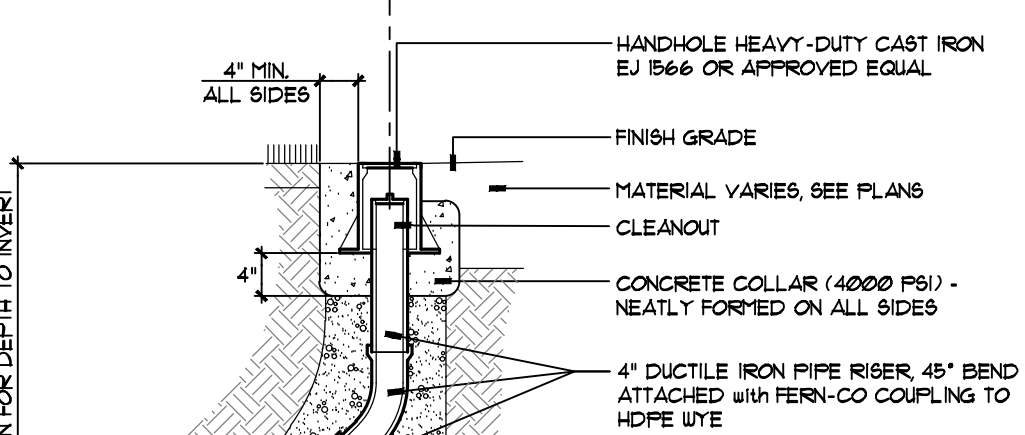
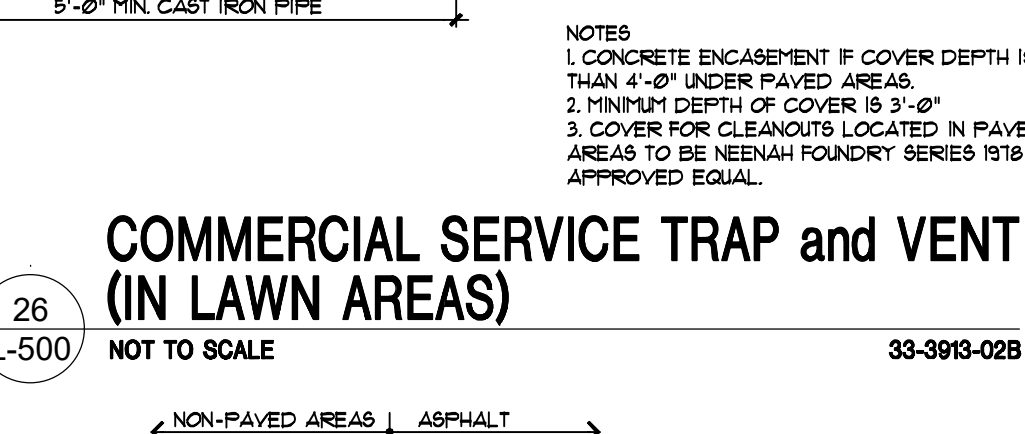
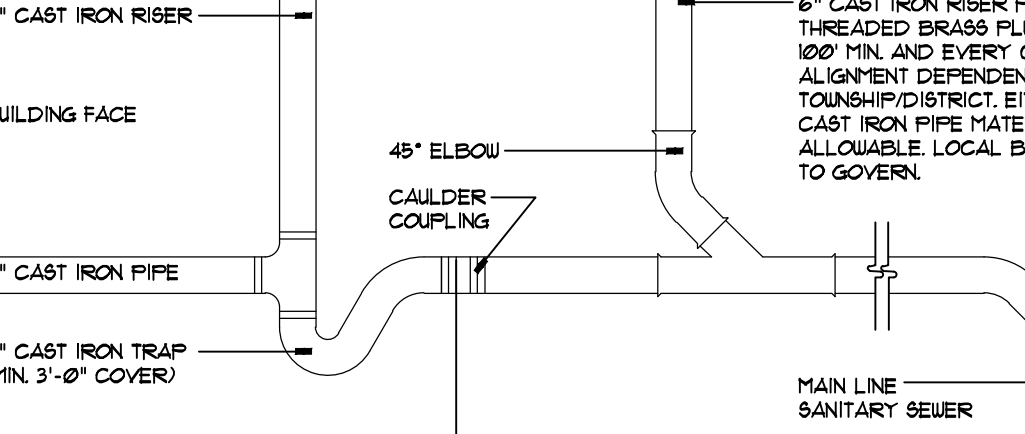
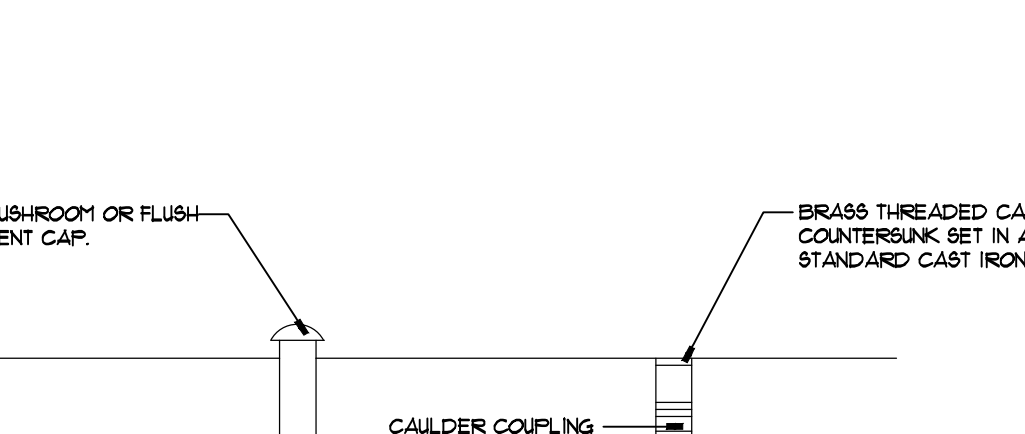
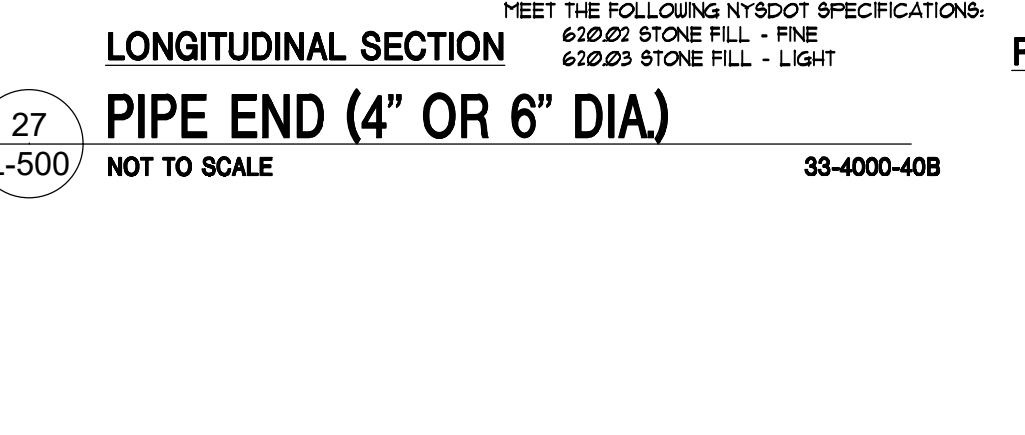
SECTION 27 PIPE END (4\"/>



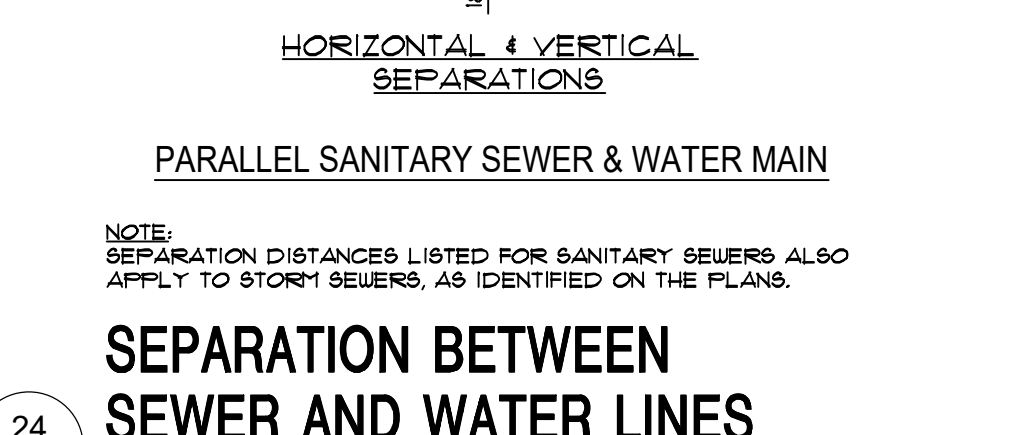
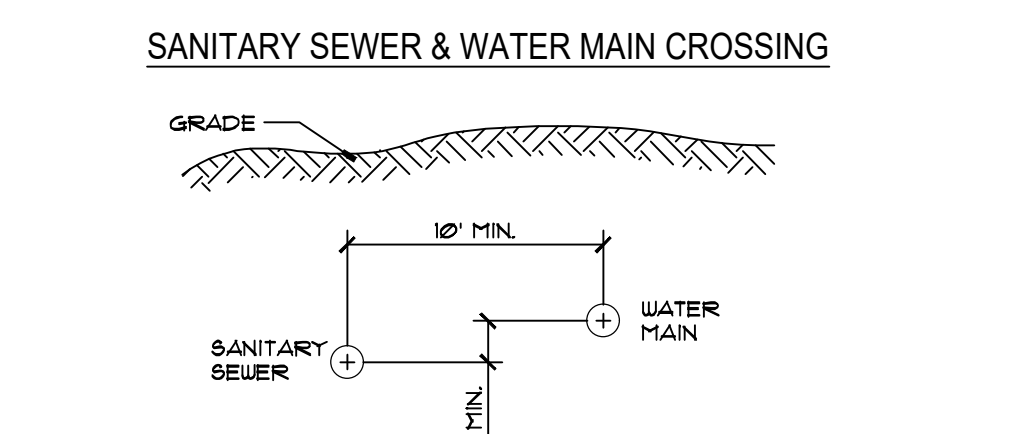
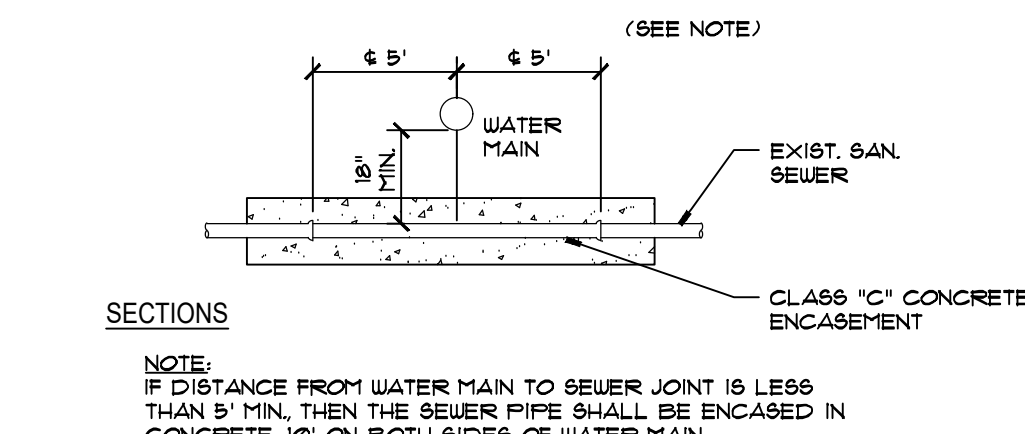
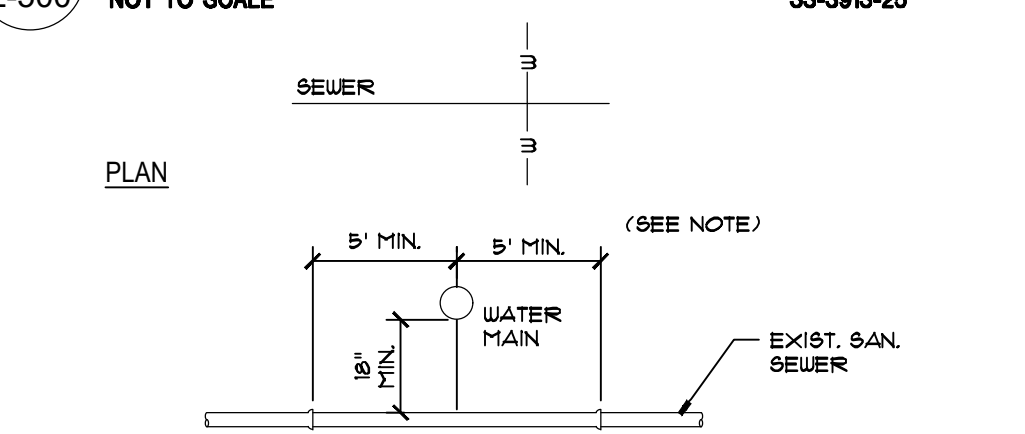
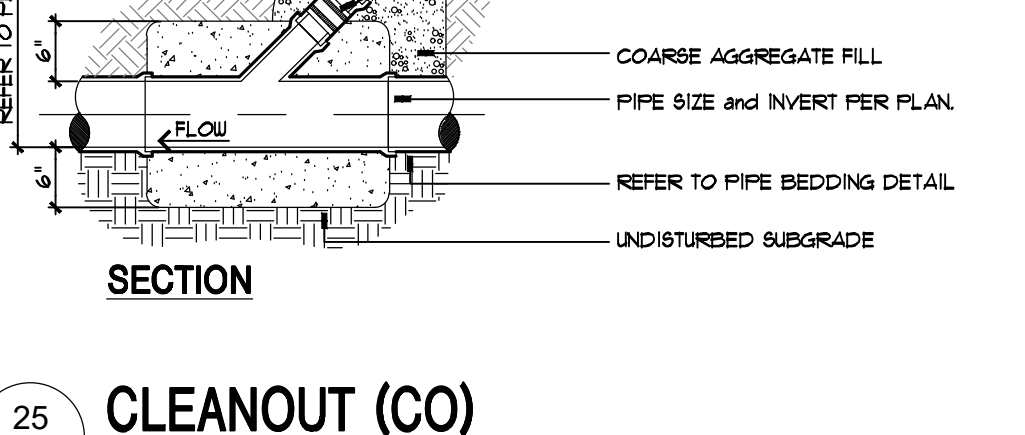
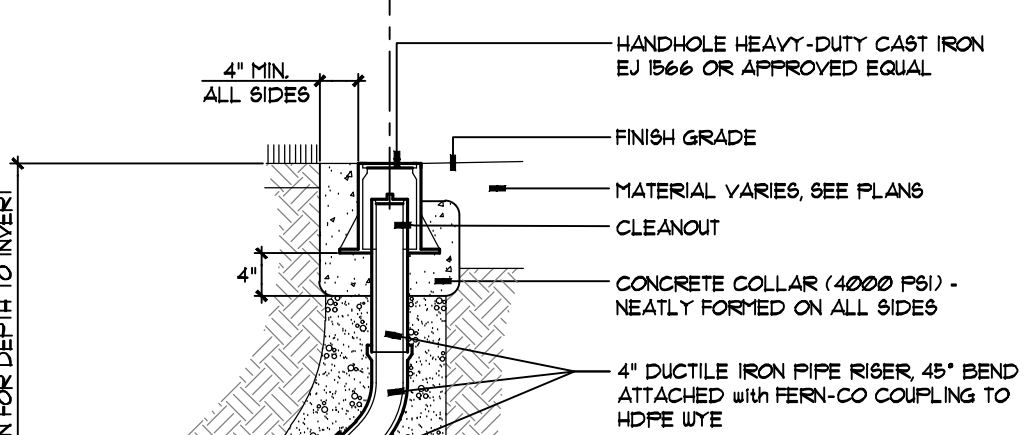
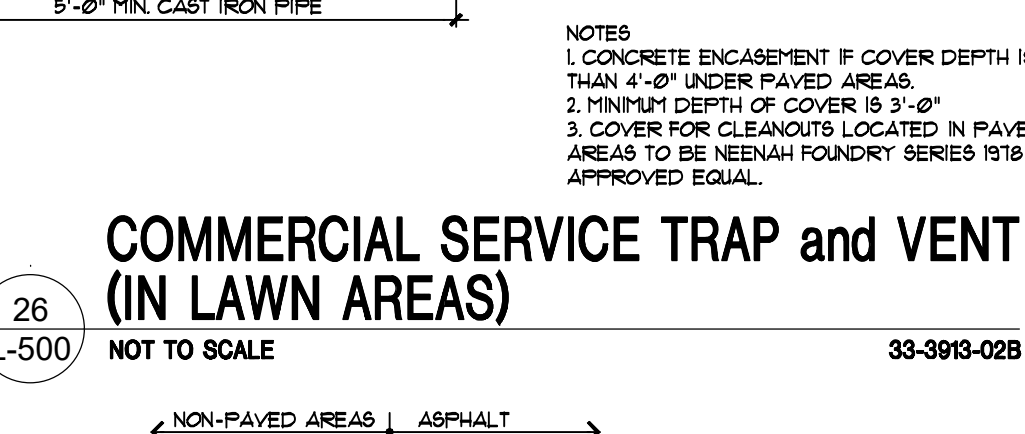
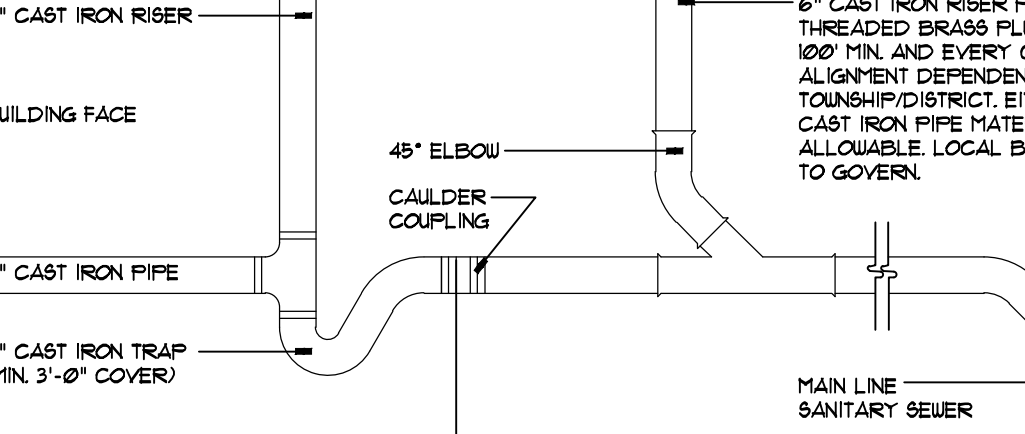
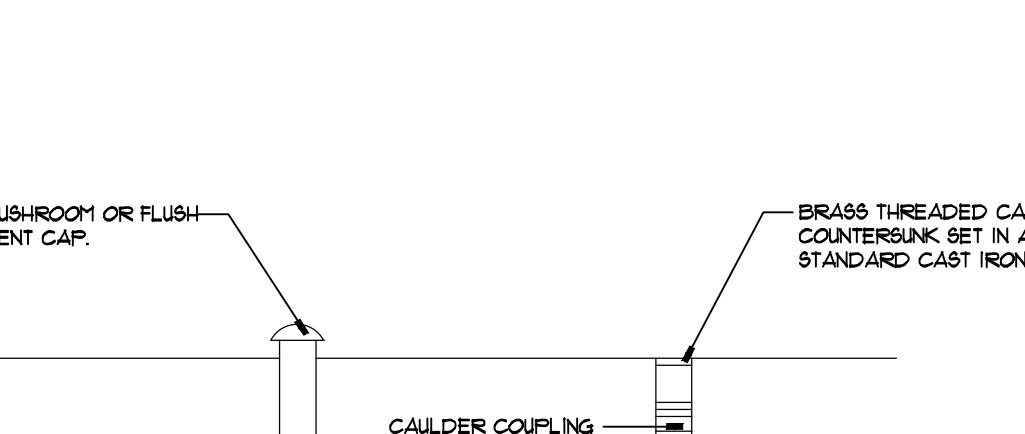
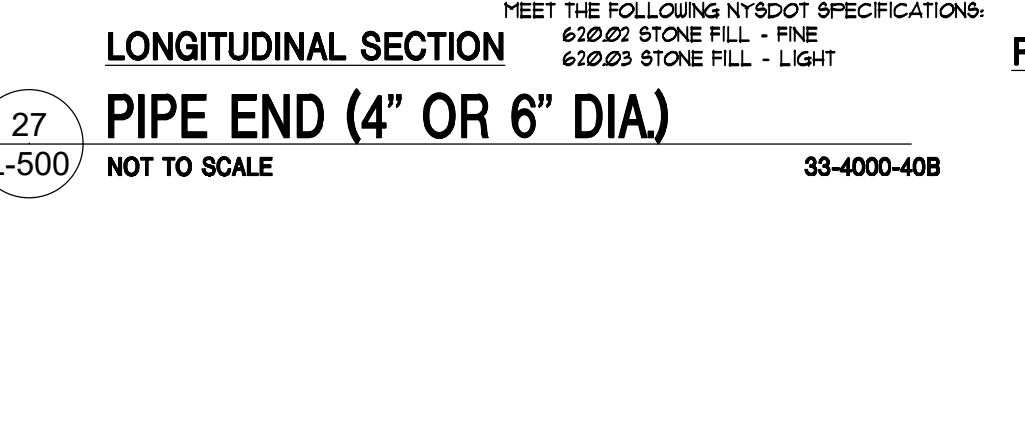
SECTION 27 PIPE END (4\"/>



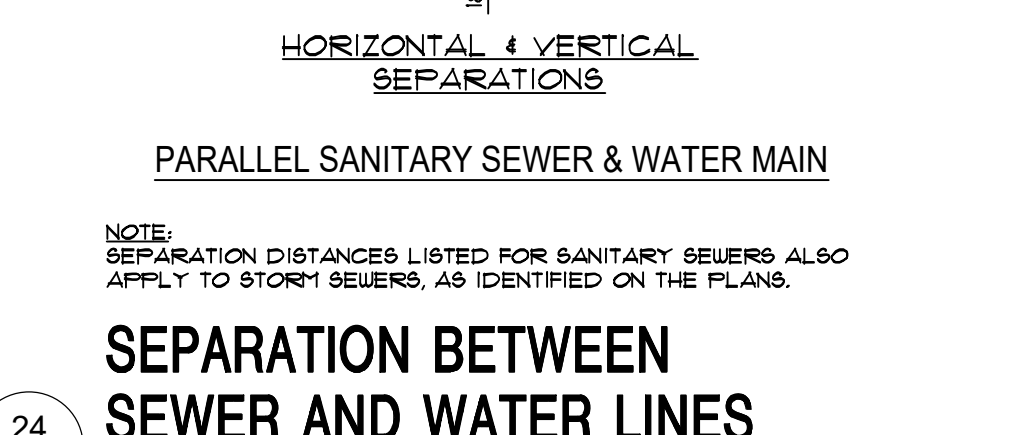
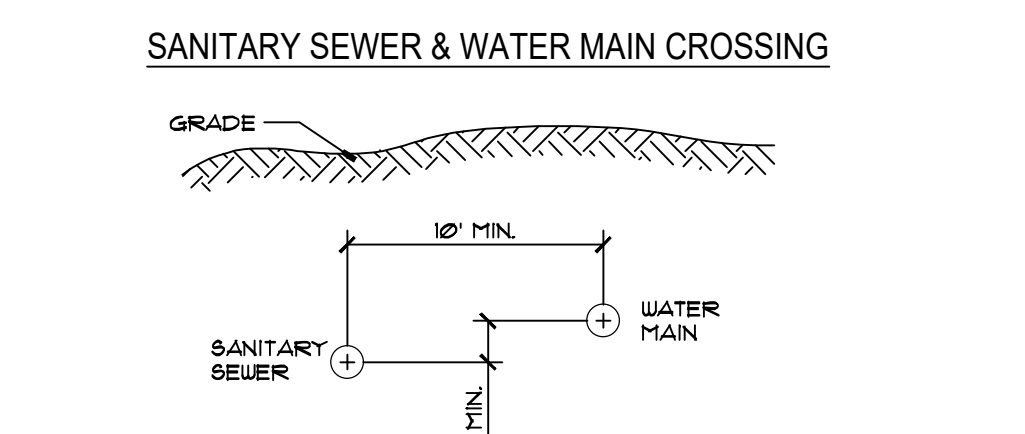
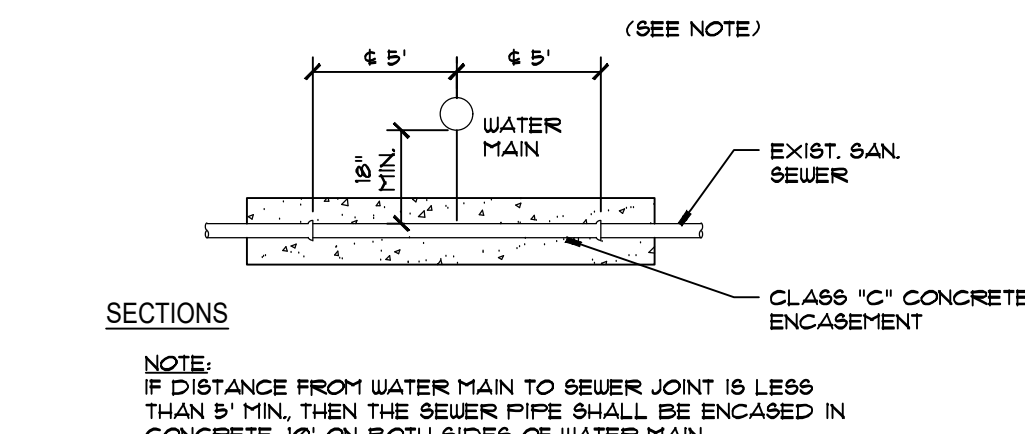
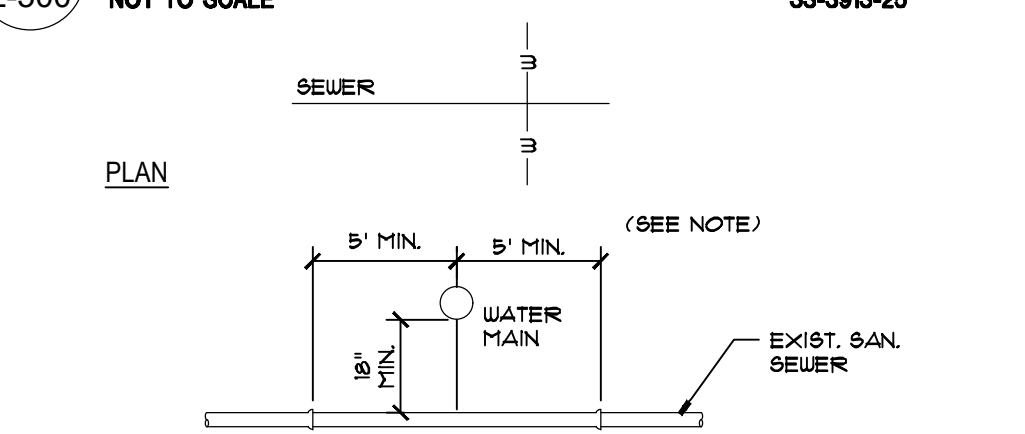
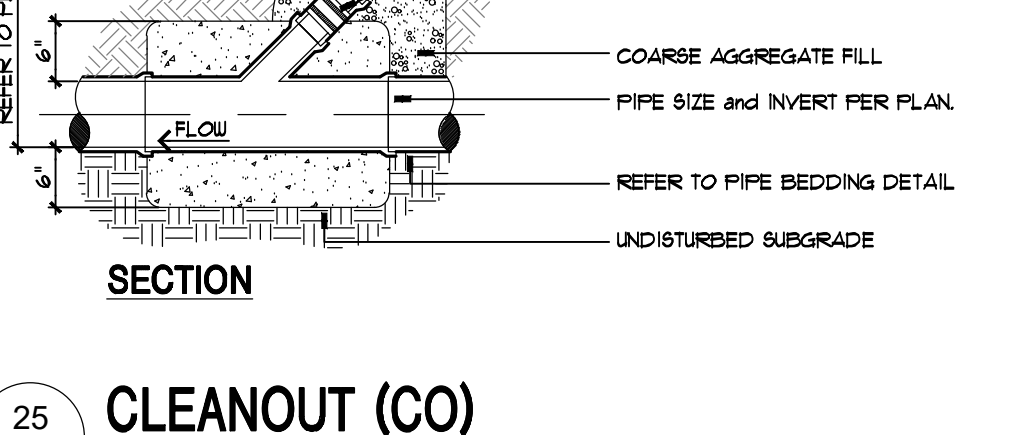
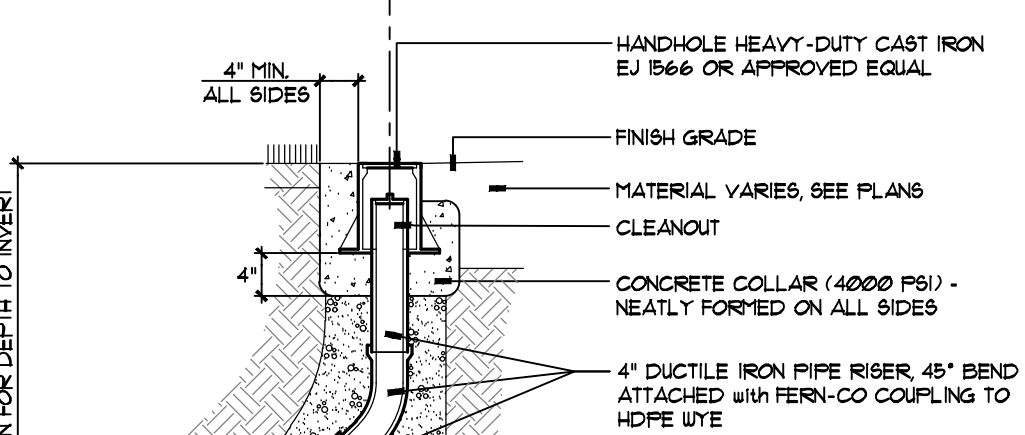
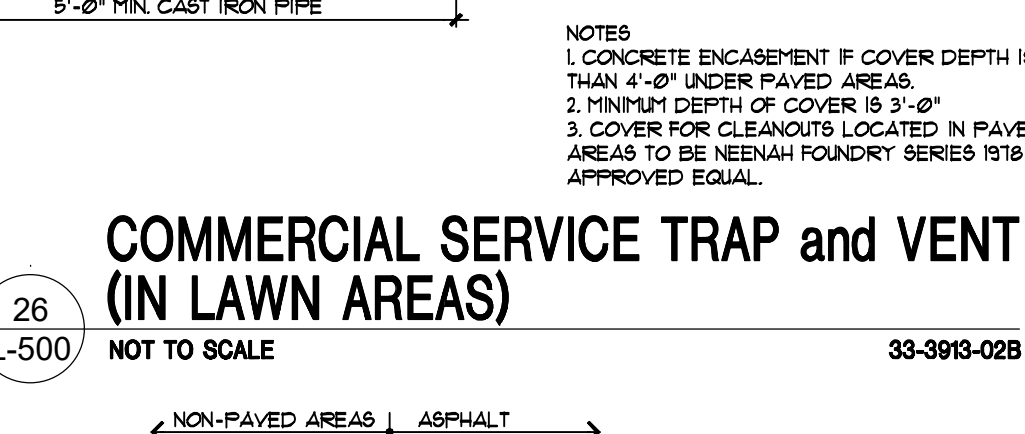
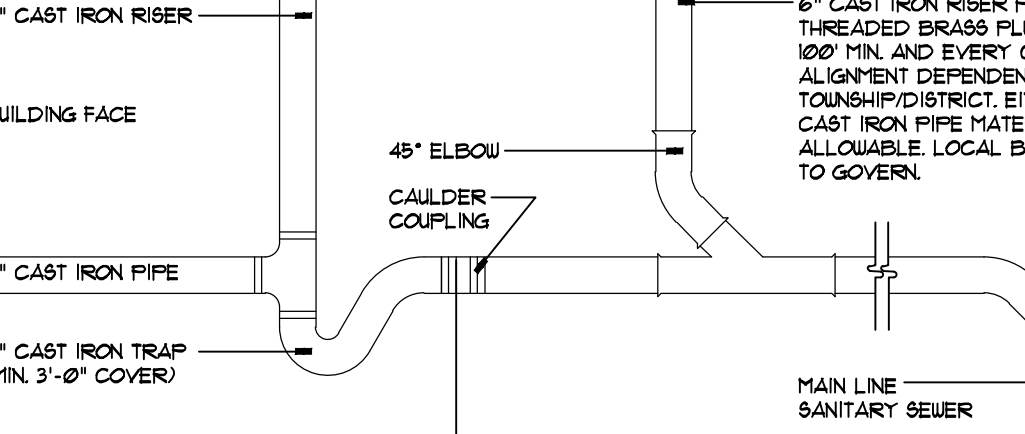
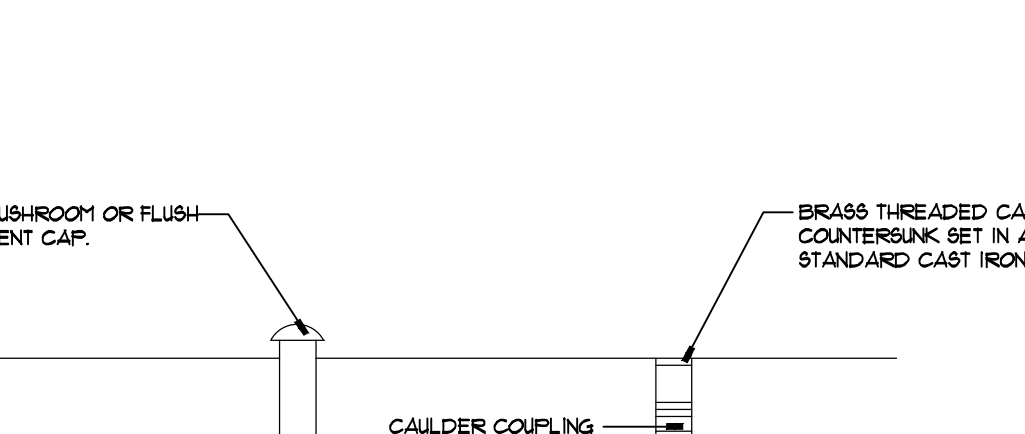
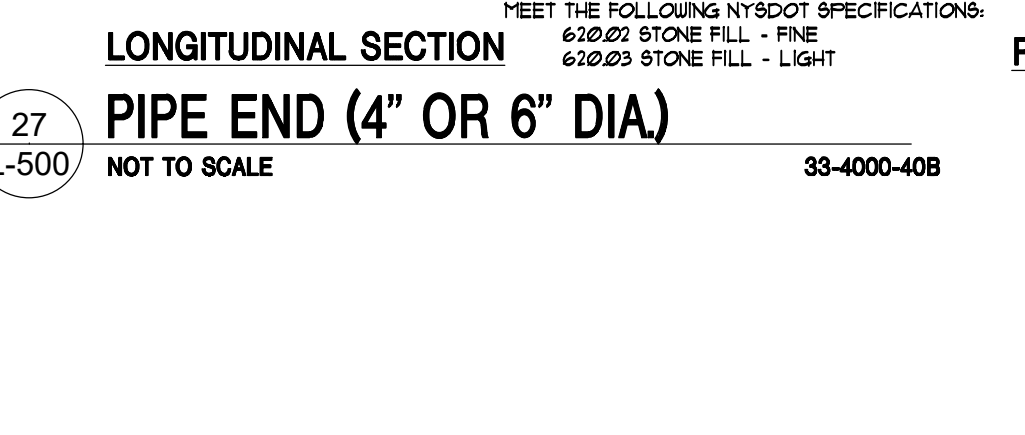
SECTION 27 PIPE END (4\"/>



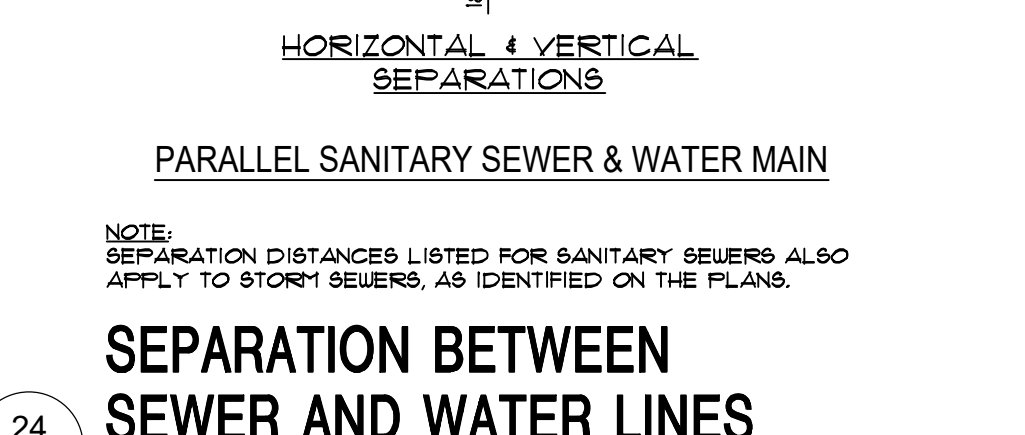
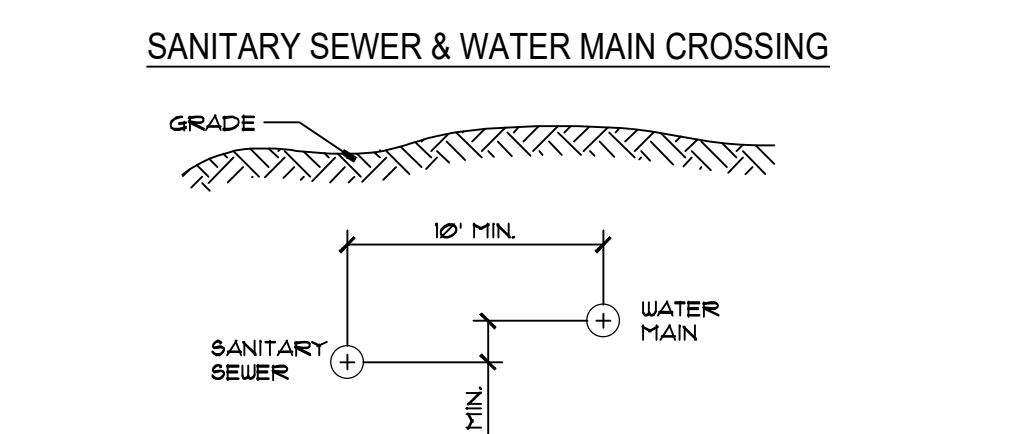
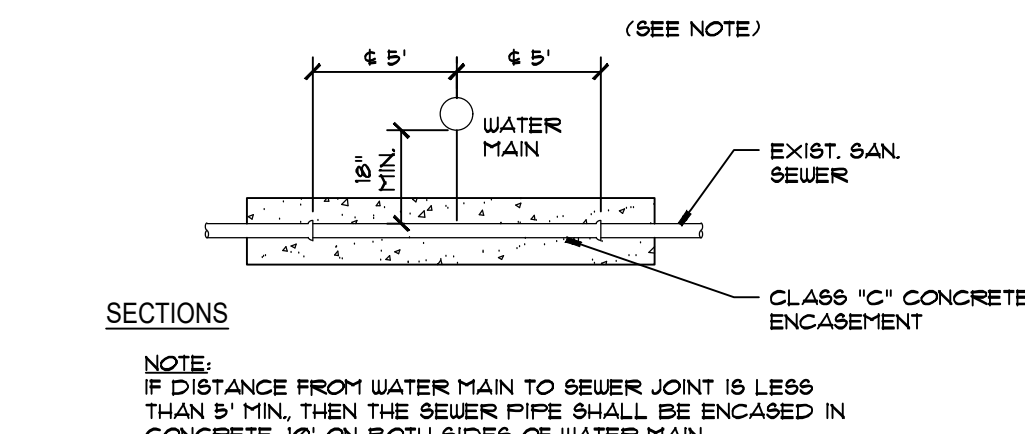
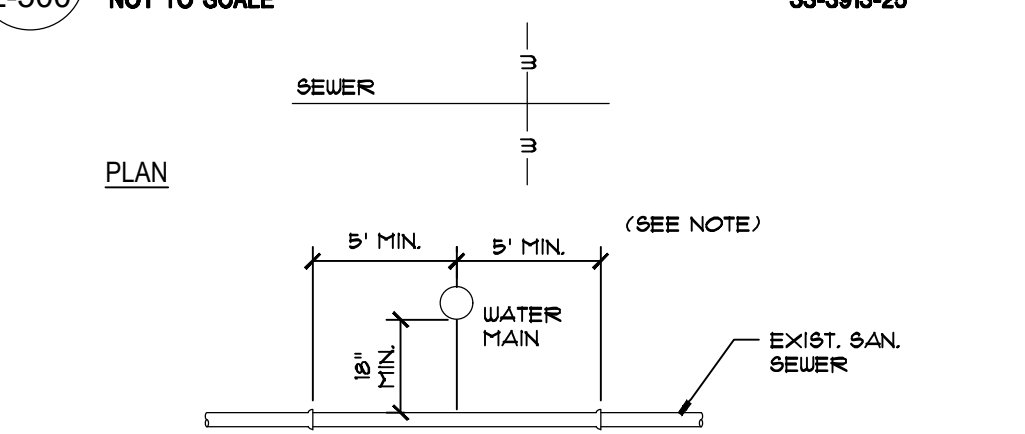
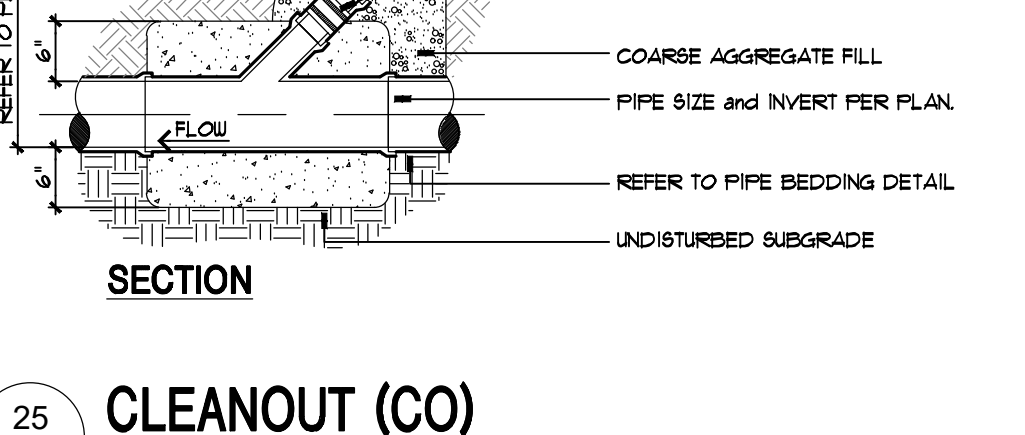
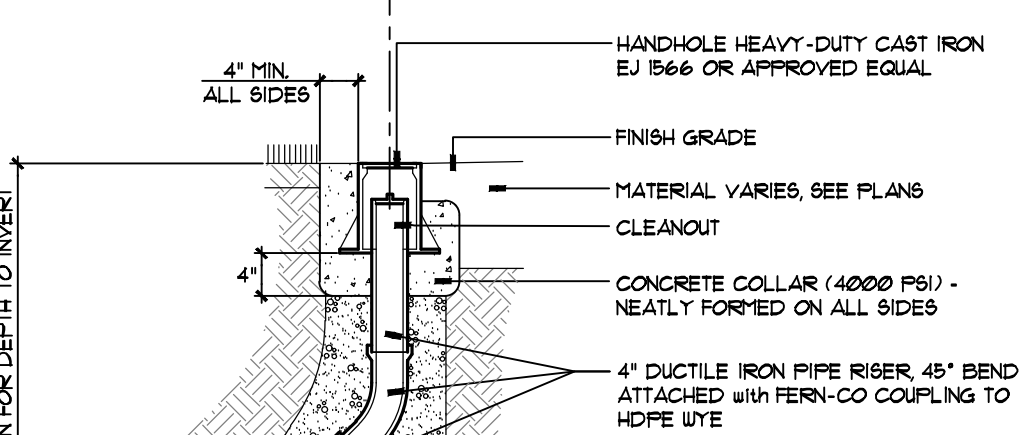
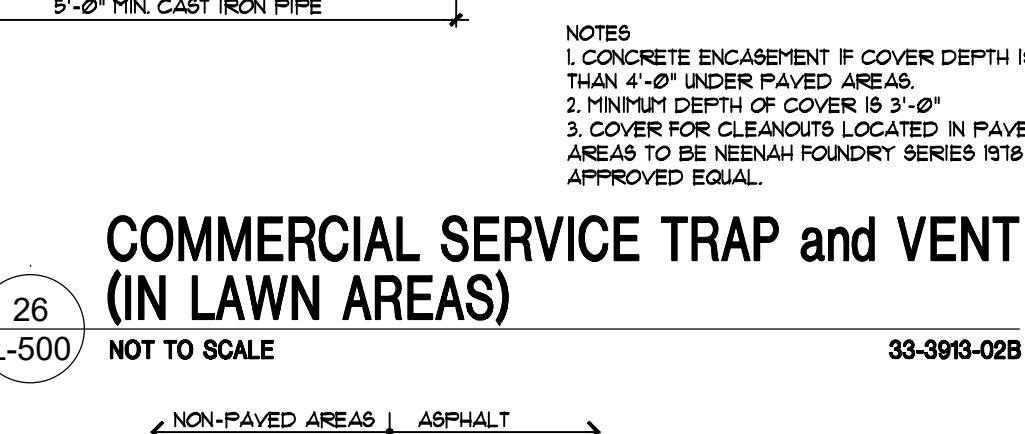
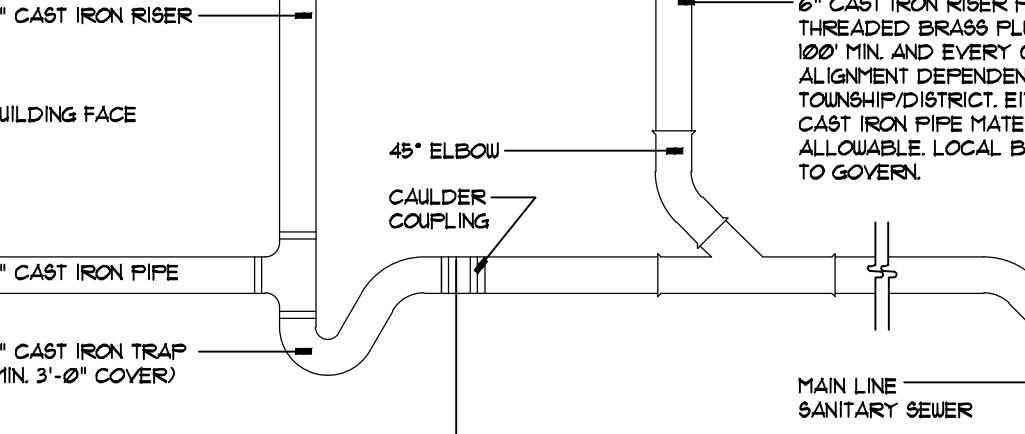
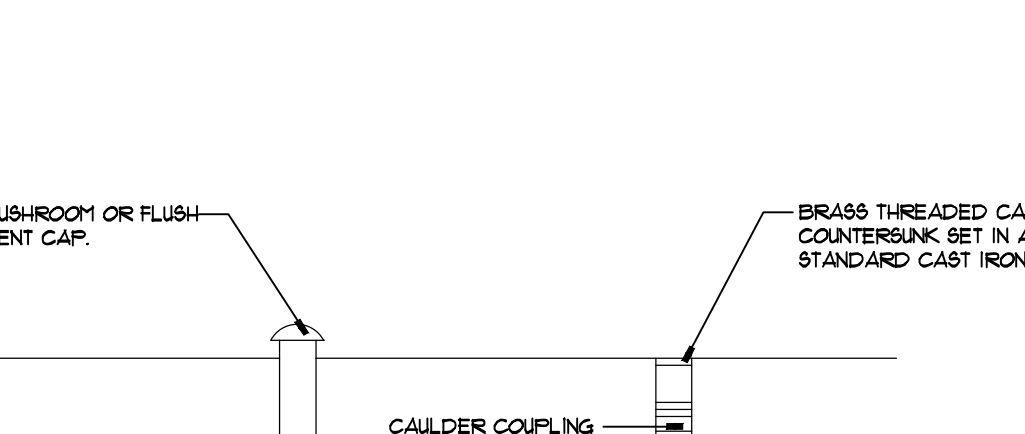
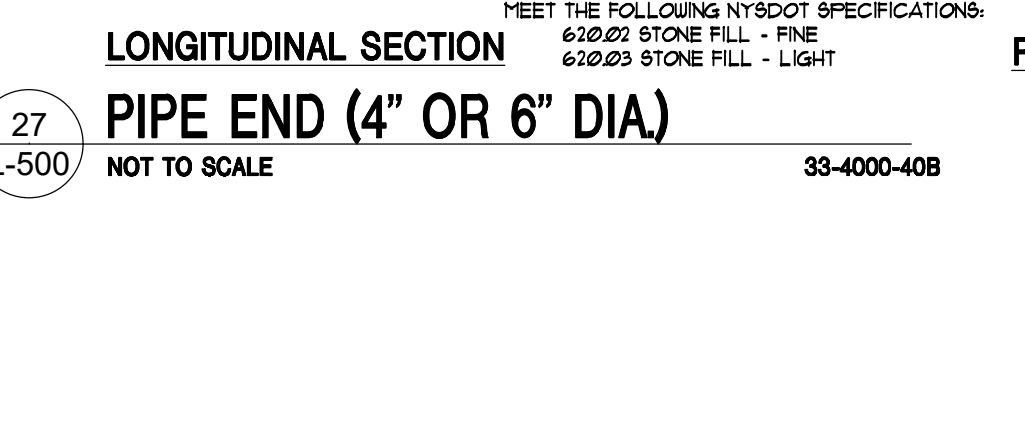
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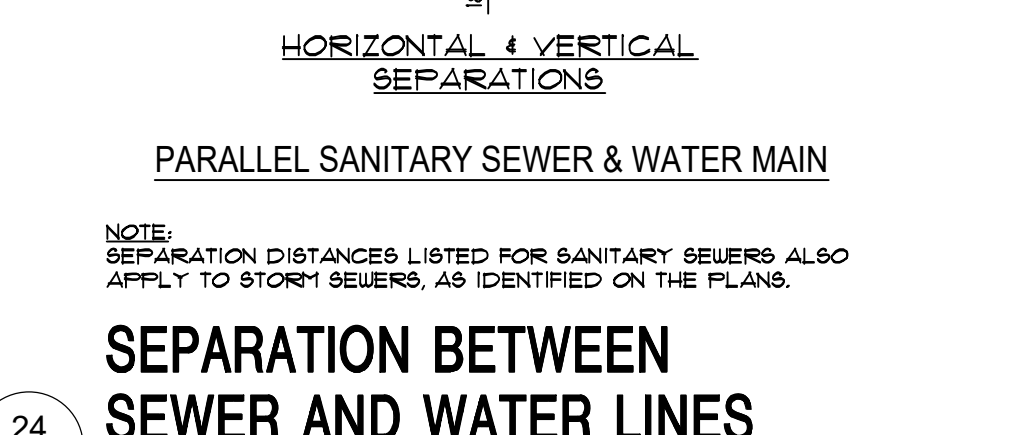
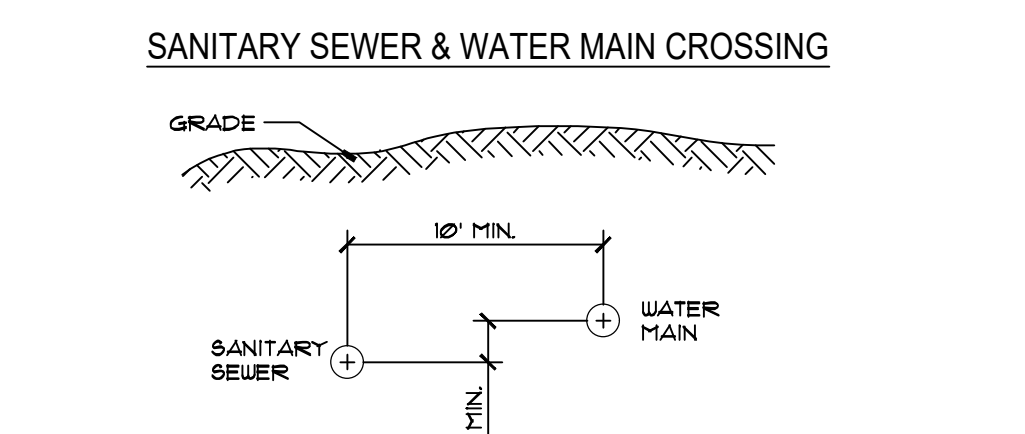
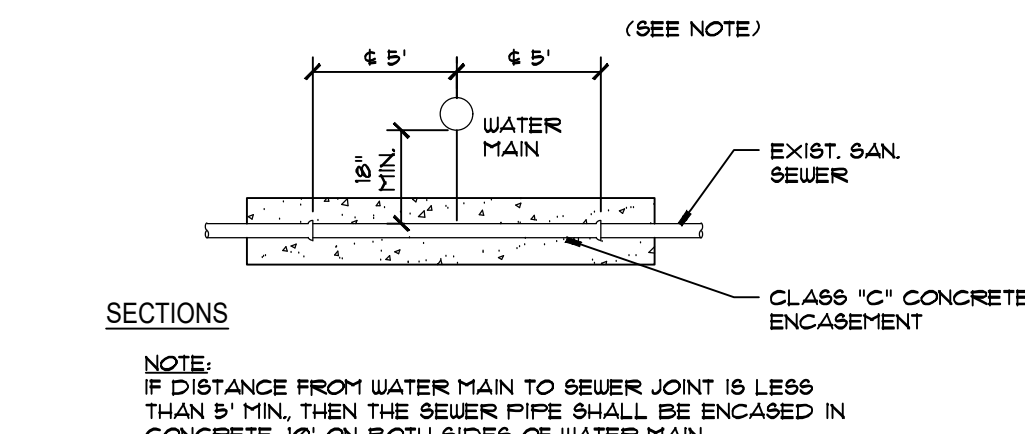
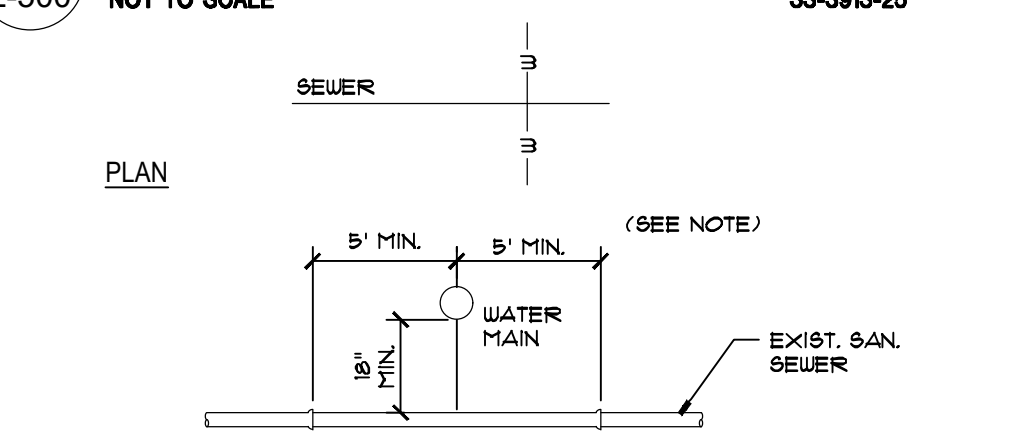
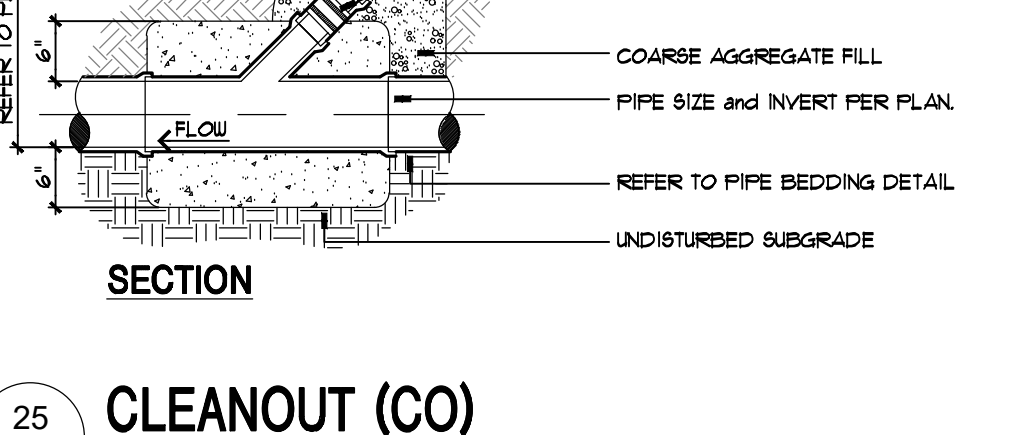
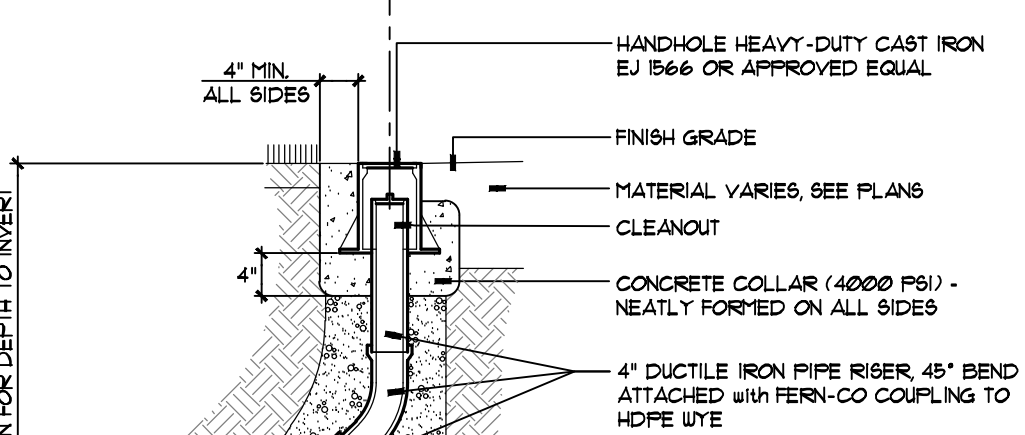
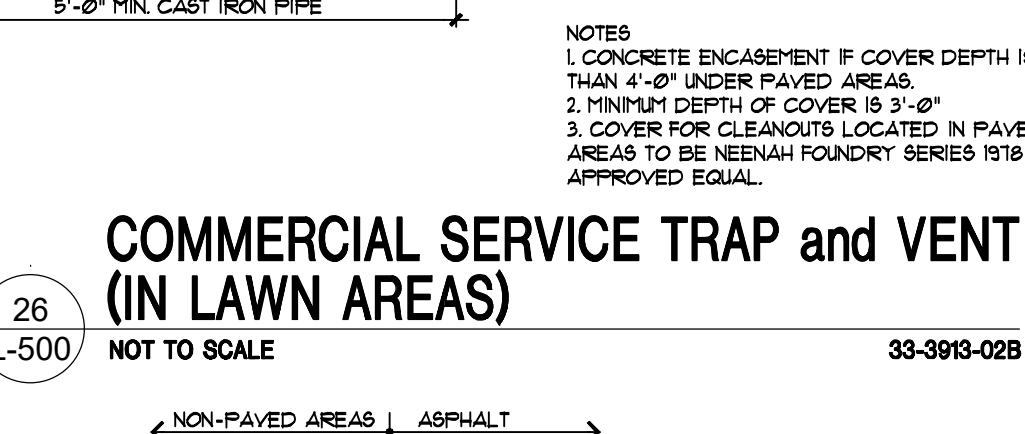
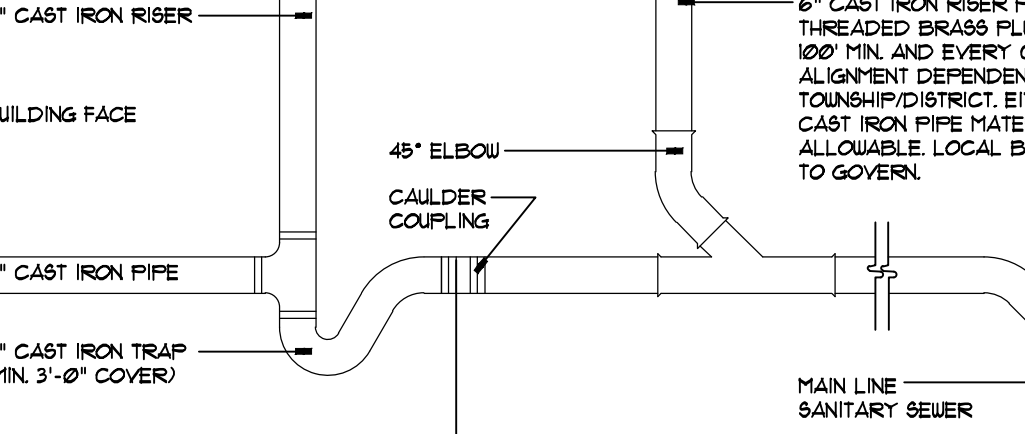
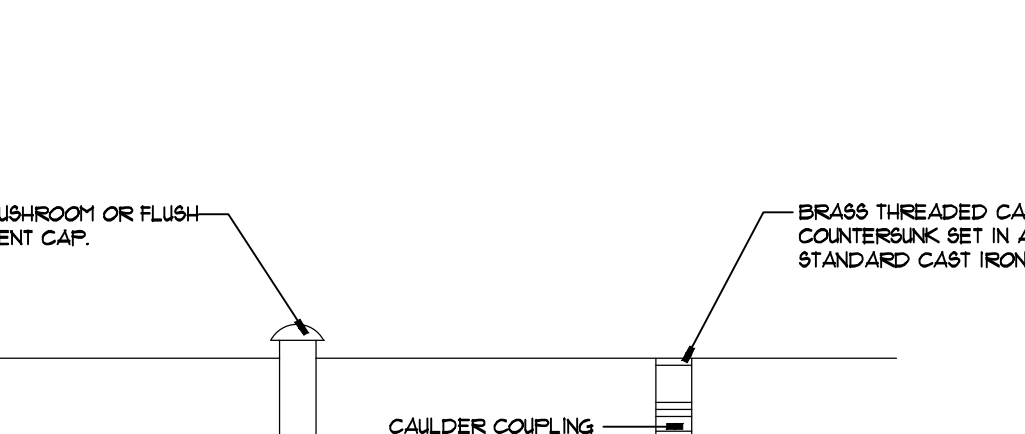
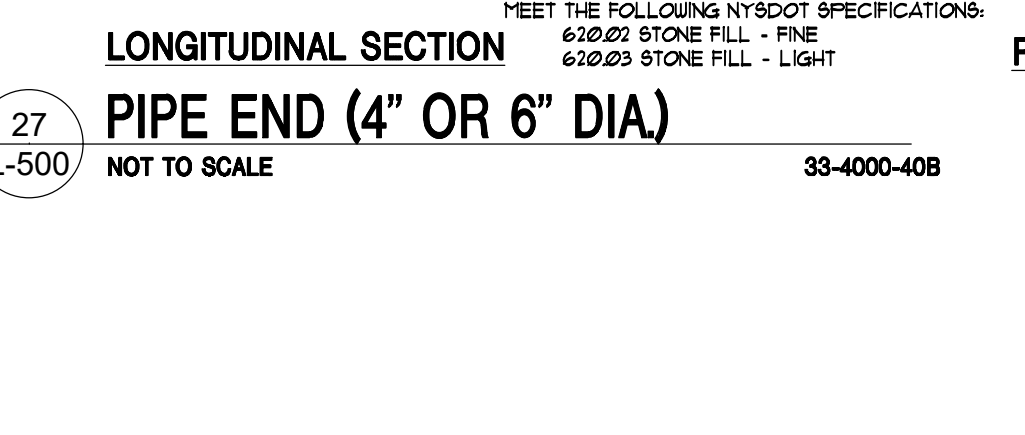
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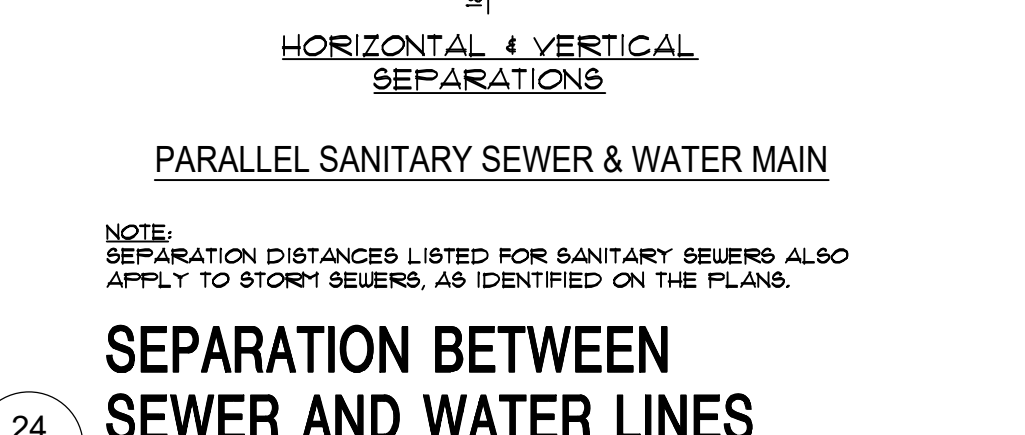
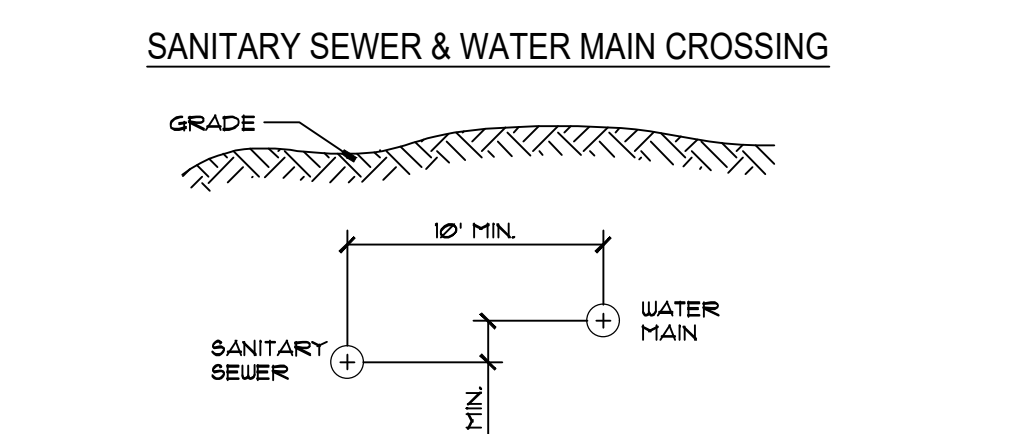
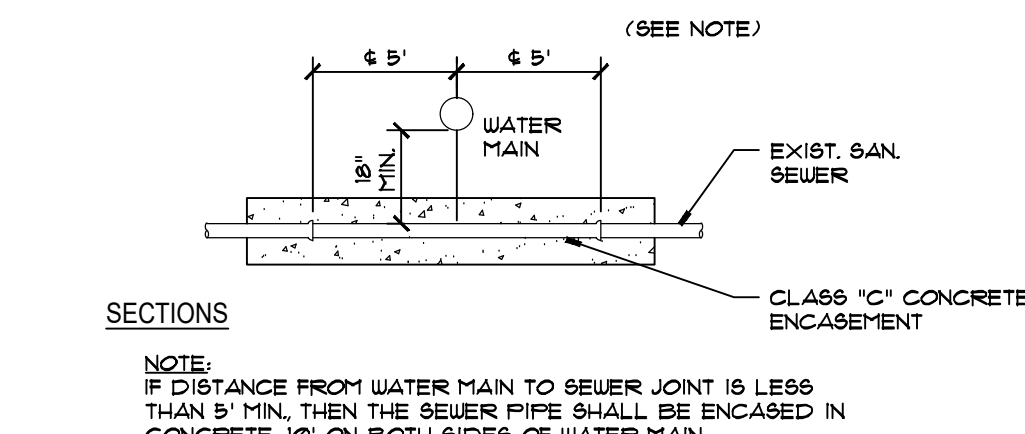
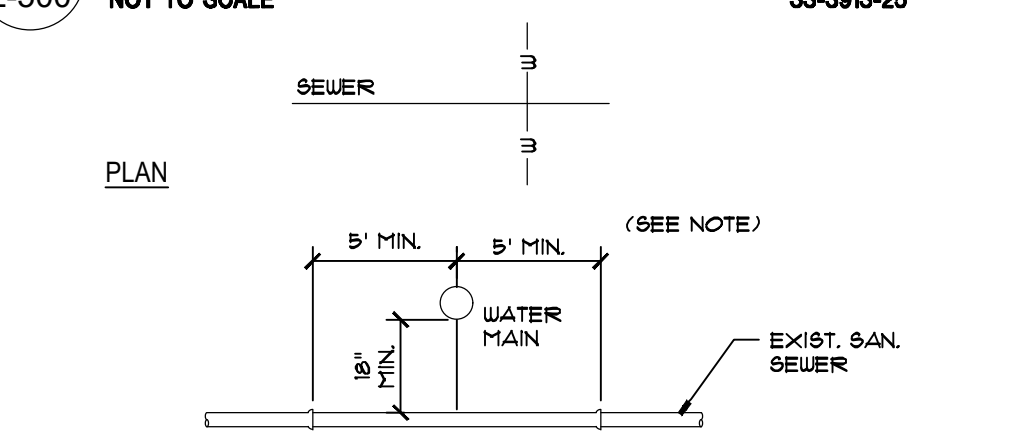
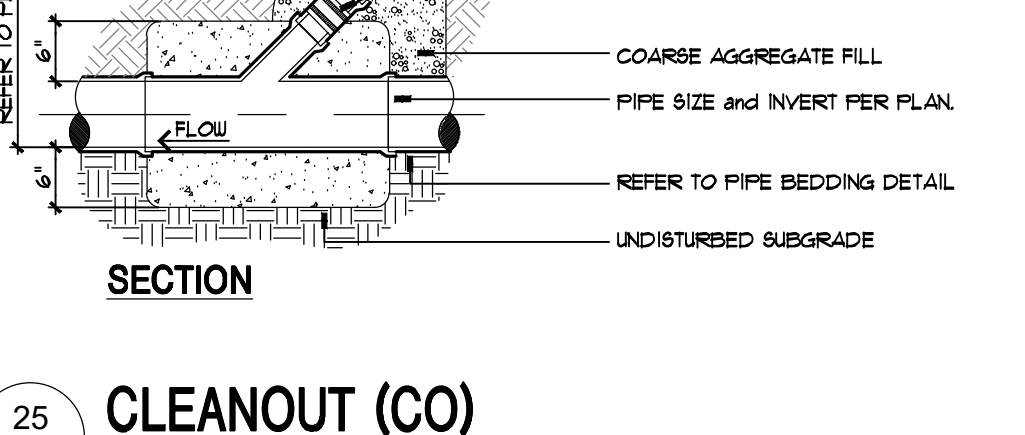
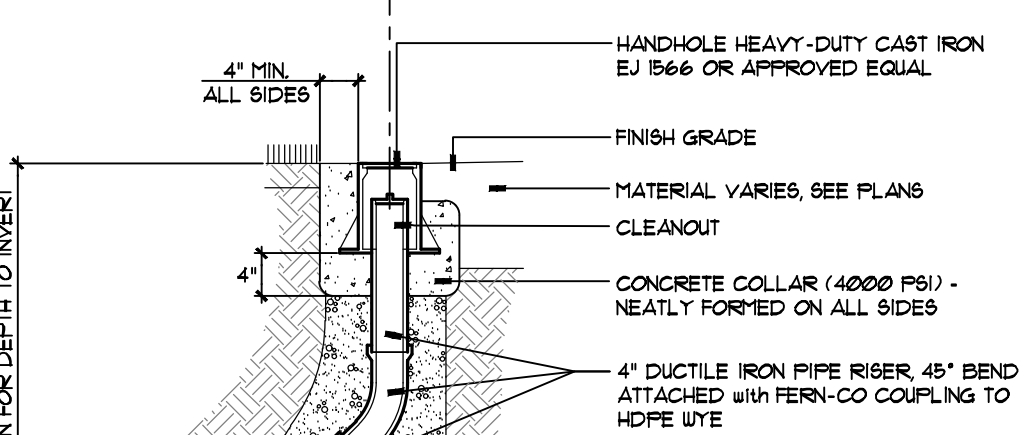
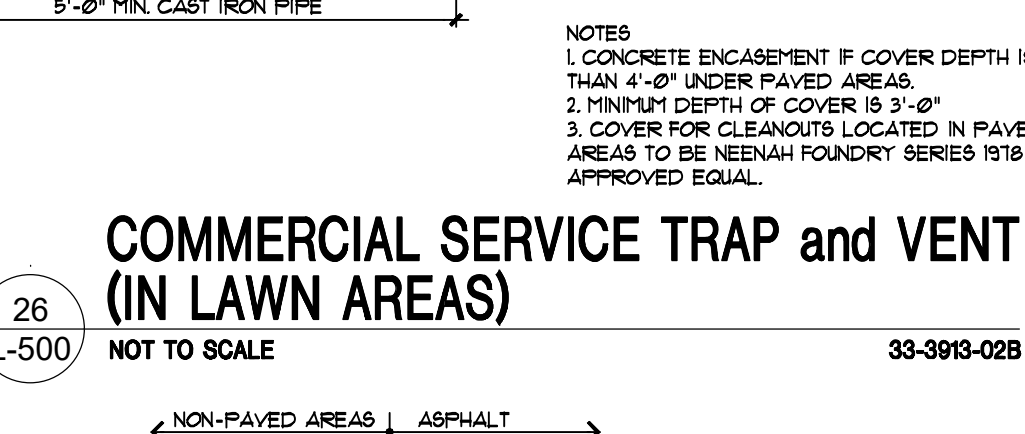
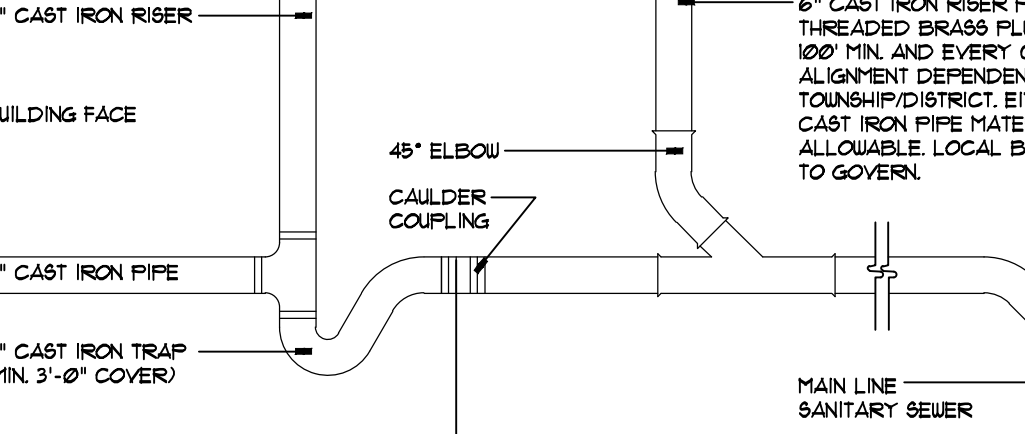
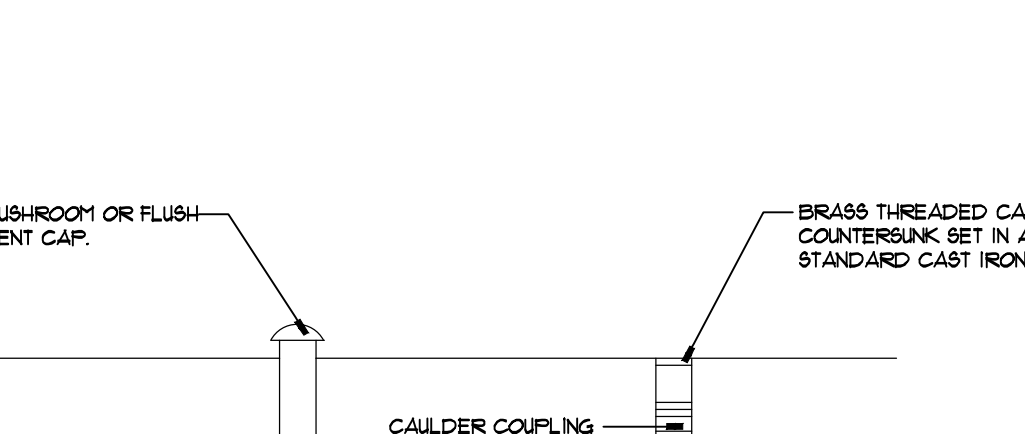
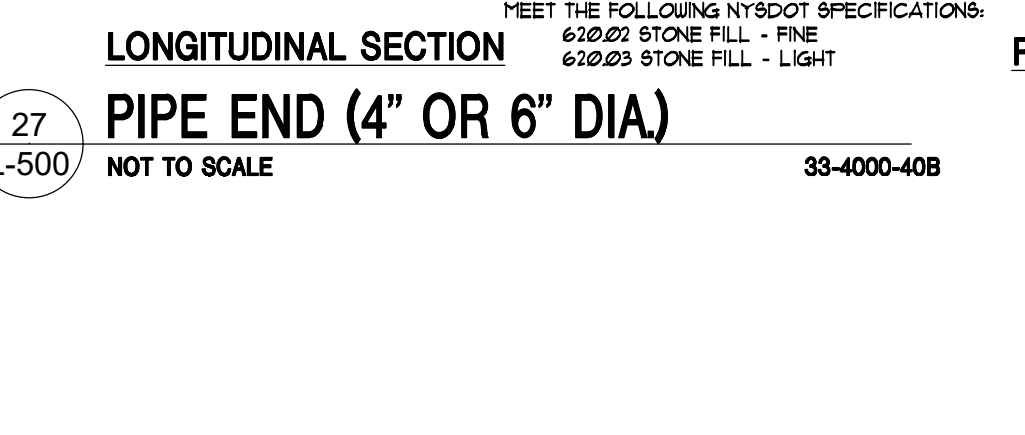
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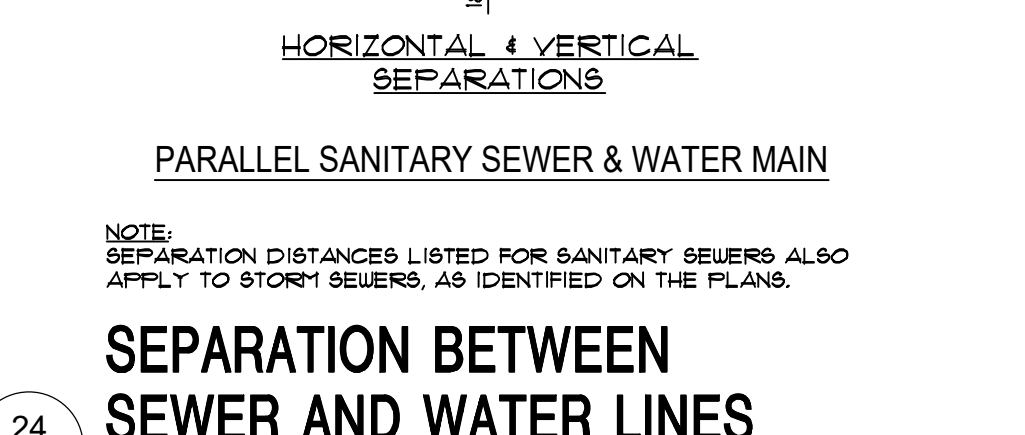
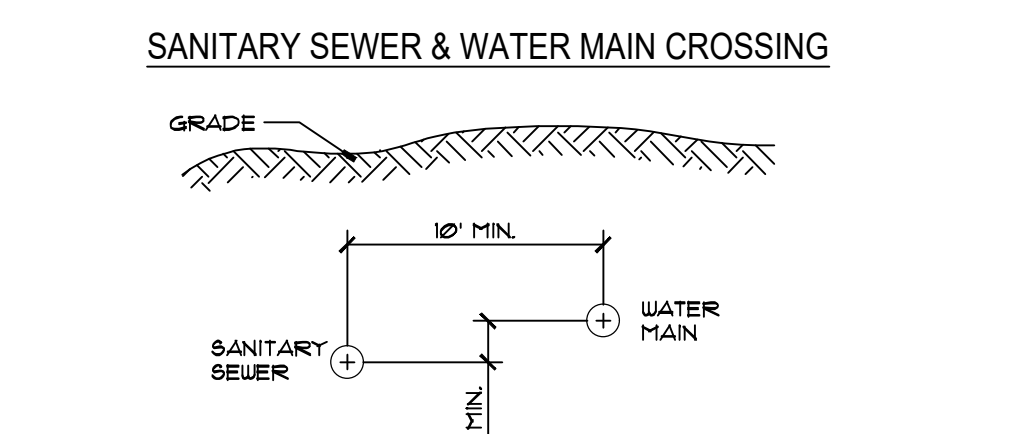
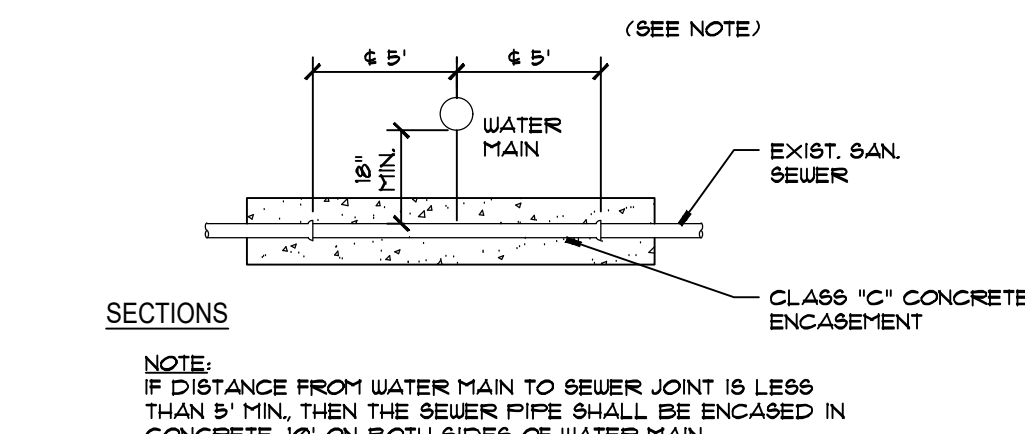
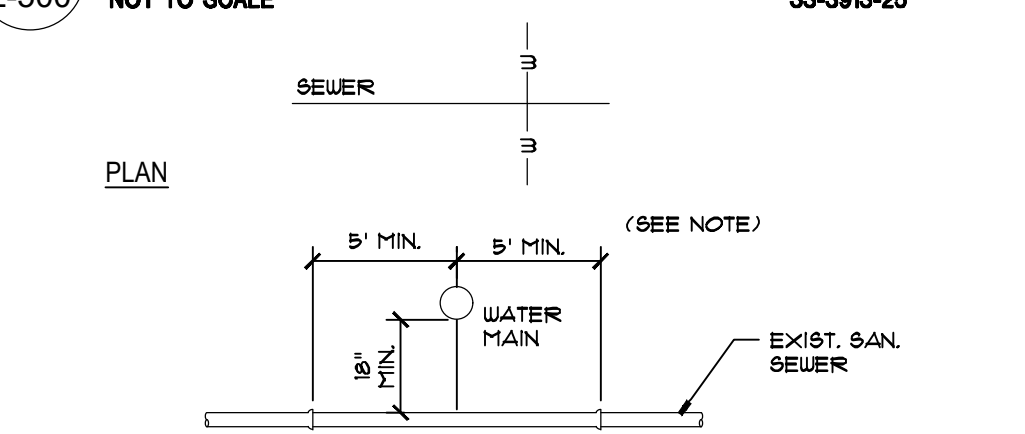
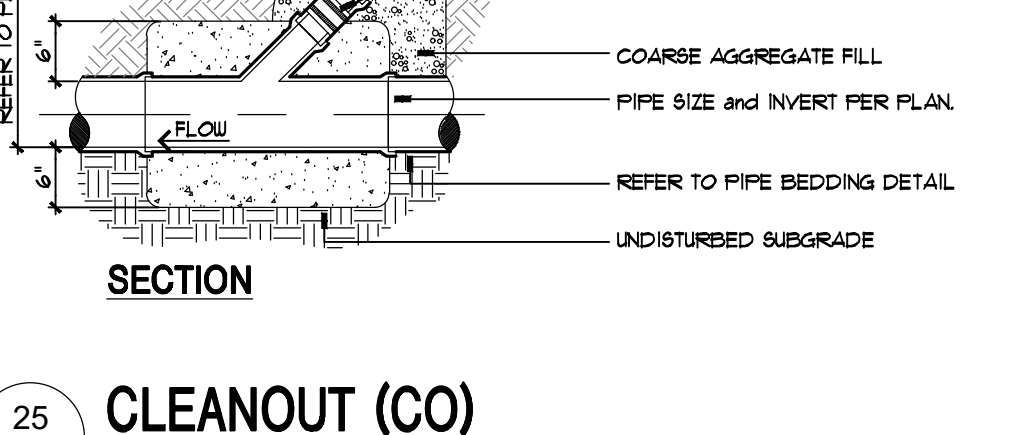
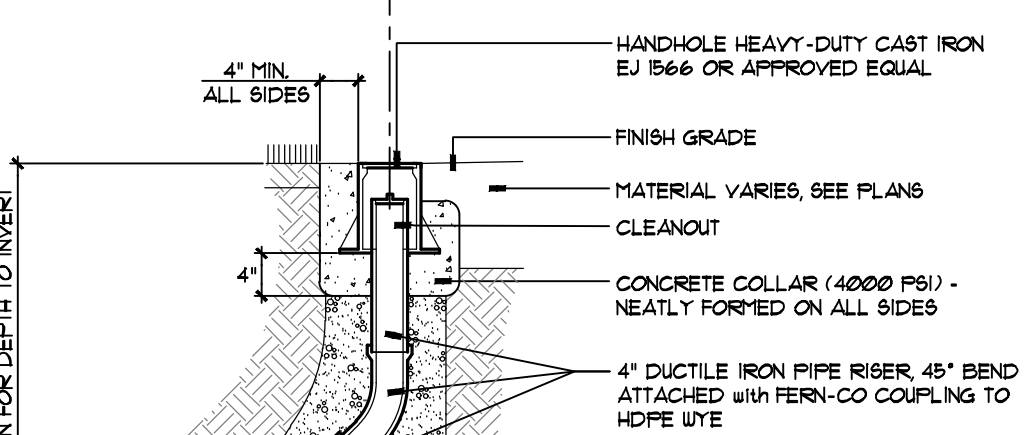
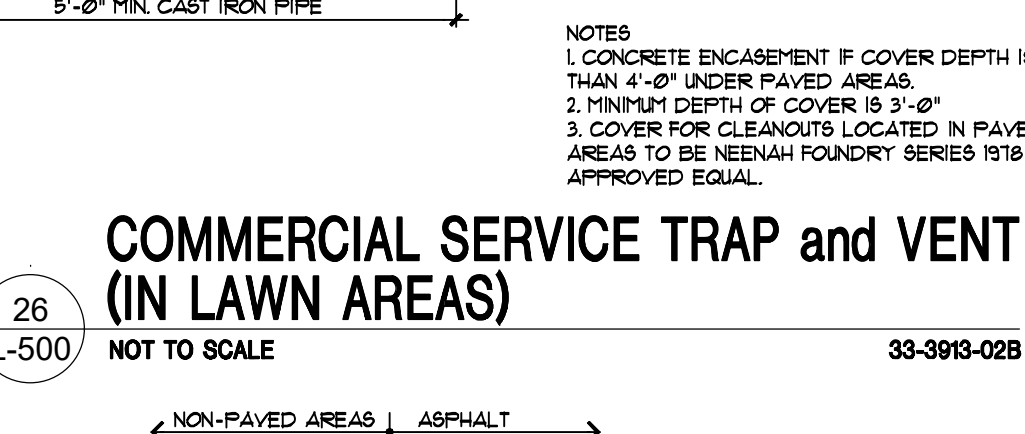
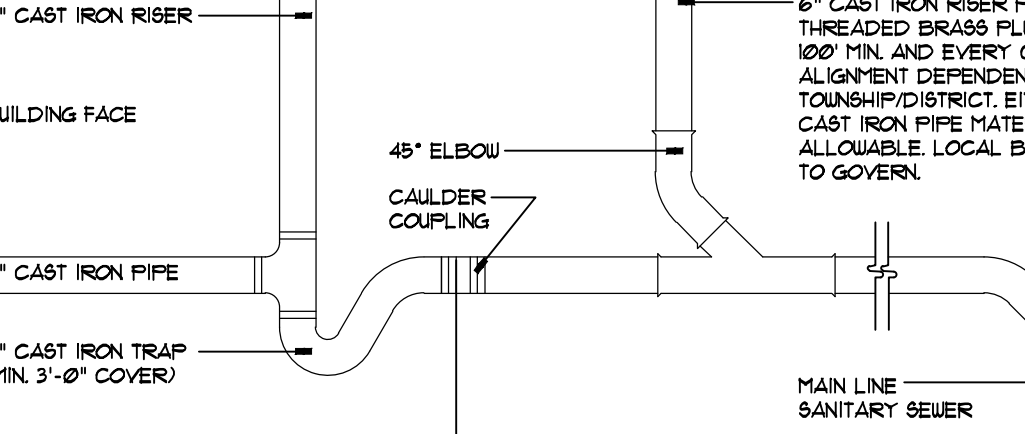
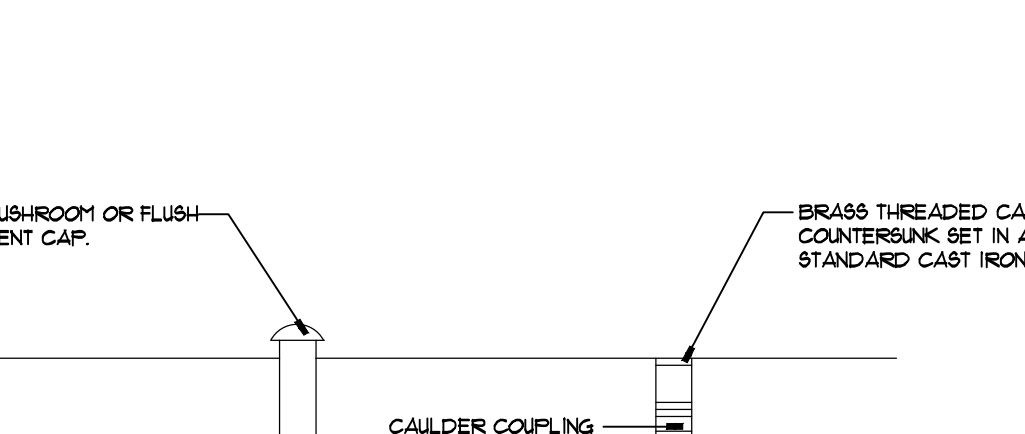
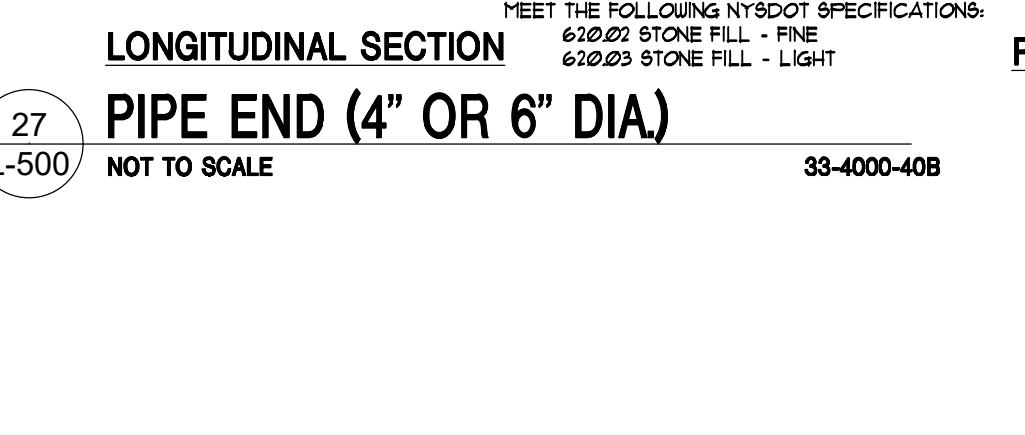
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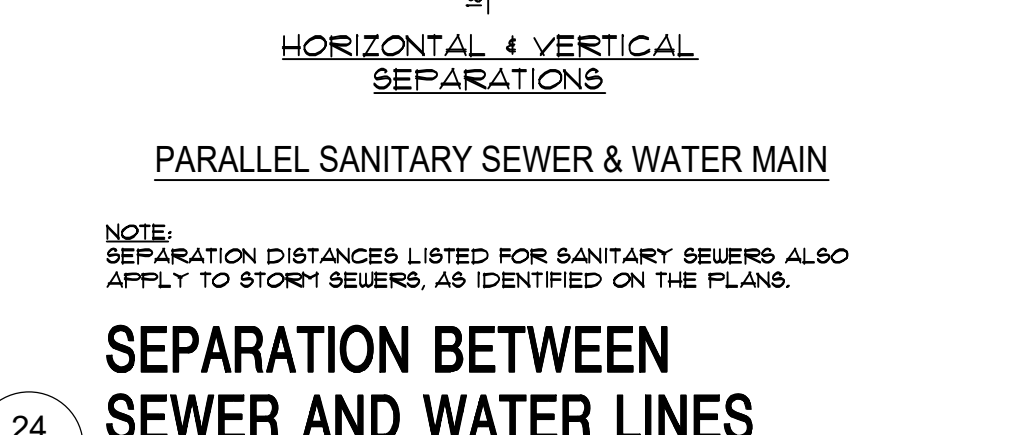
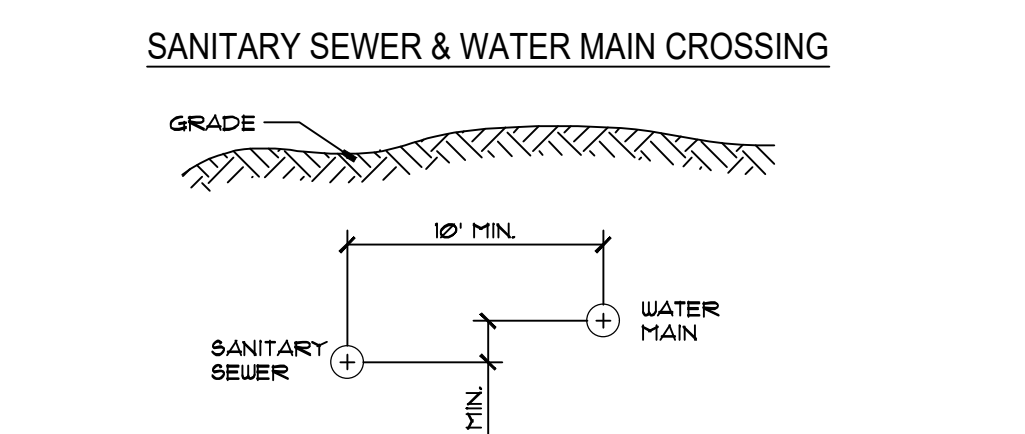
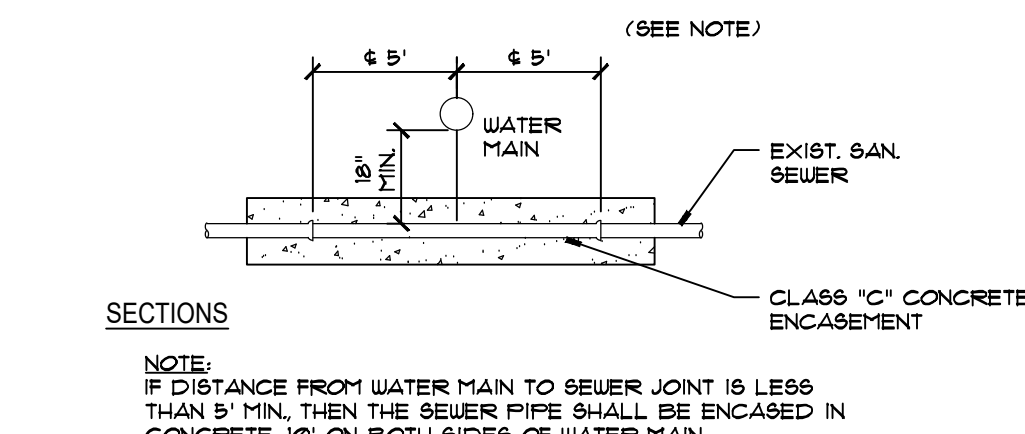
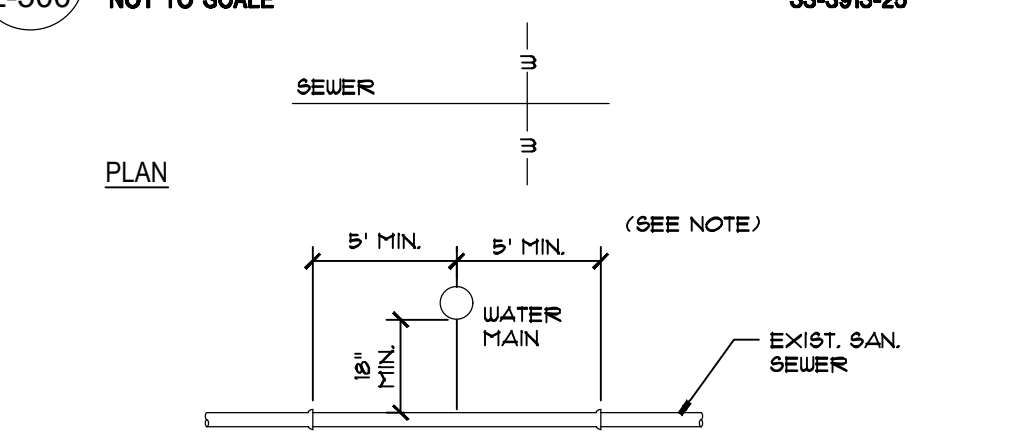
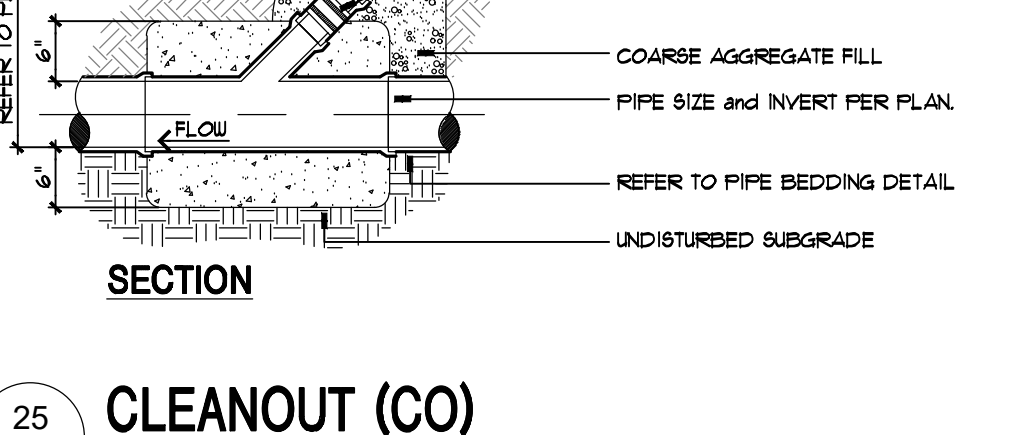
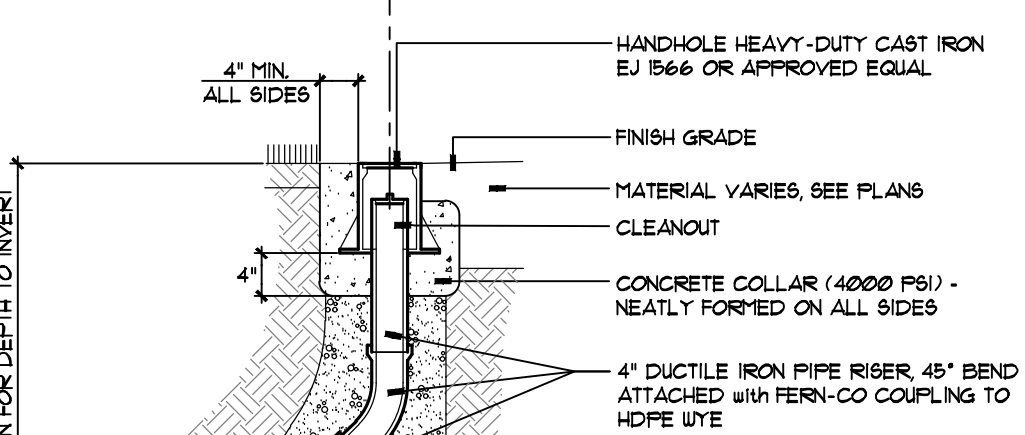
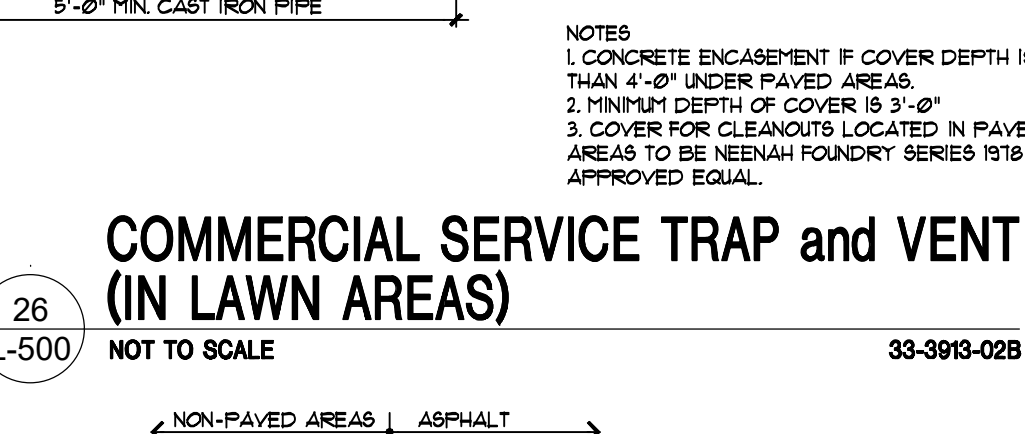
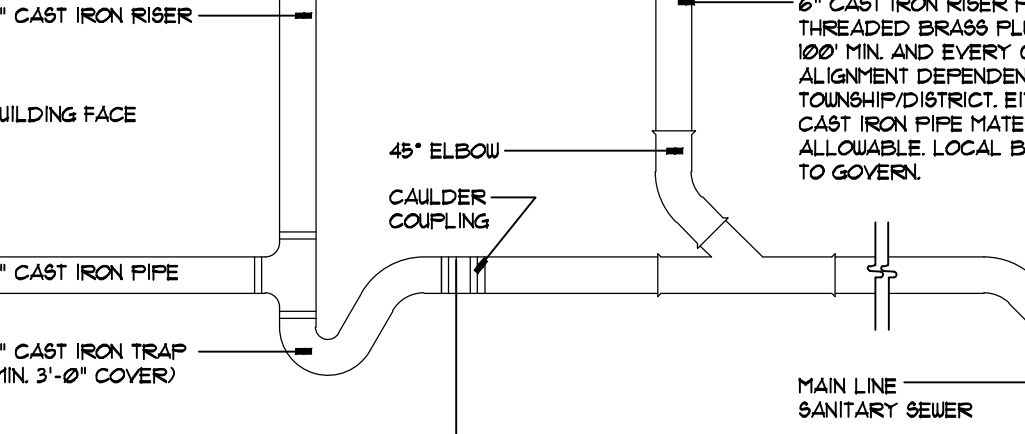
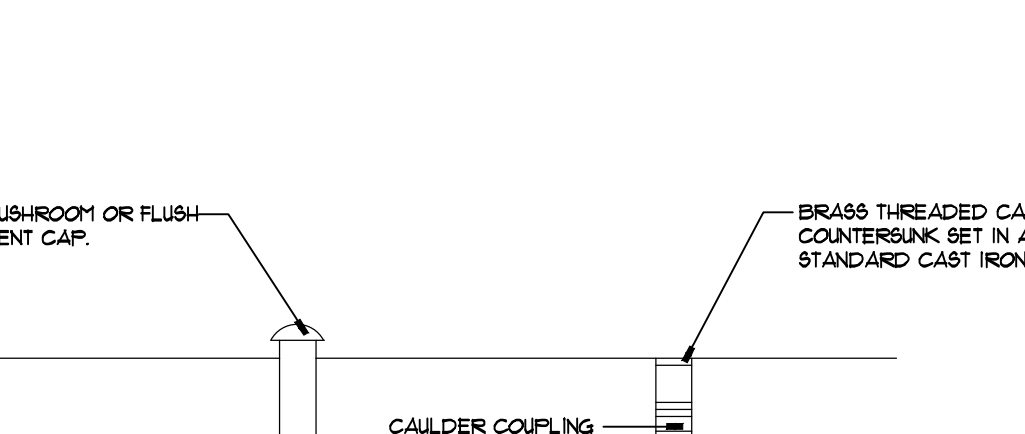
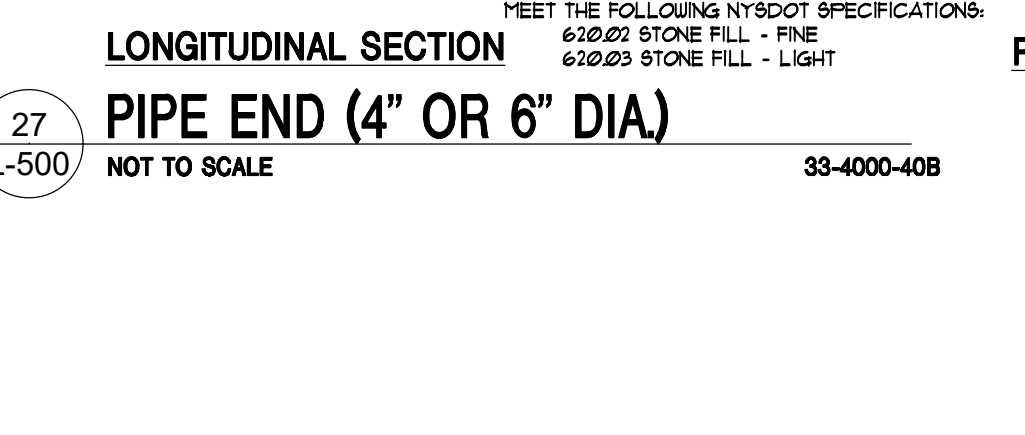
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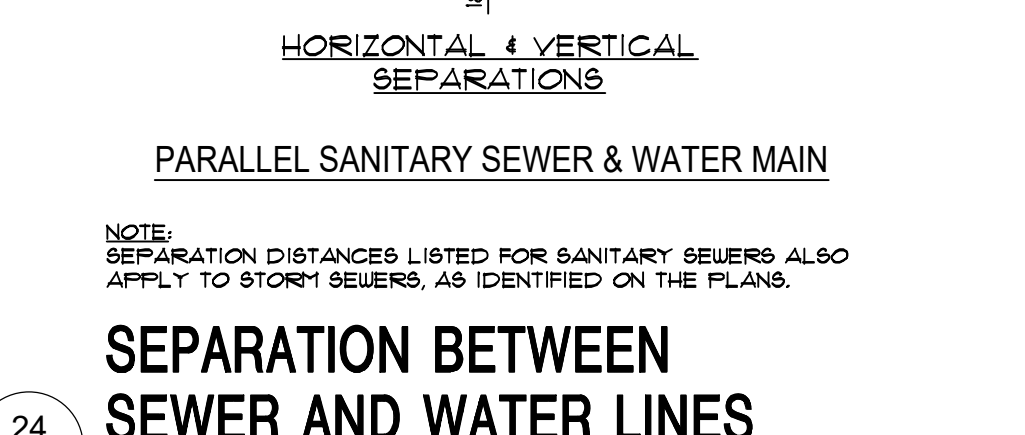
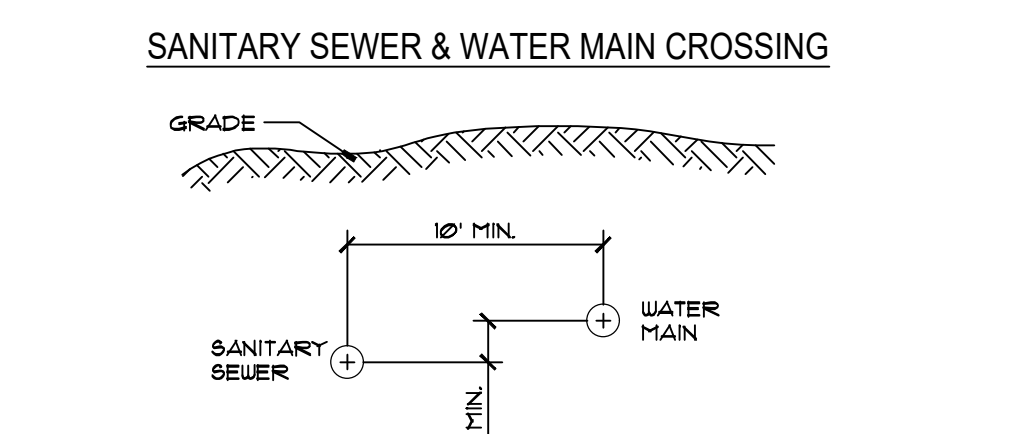
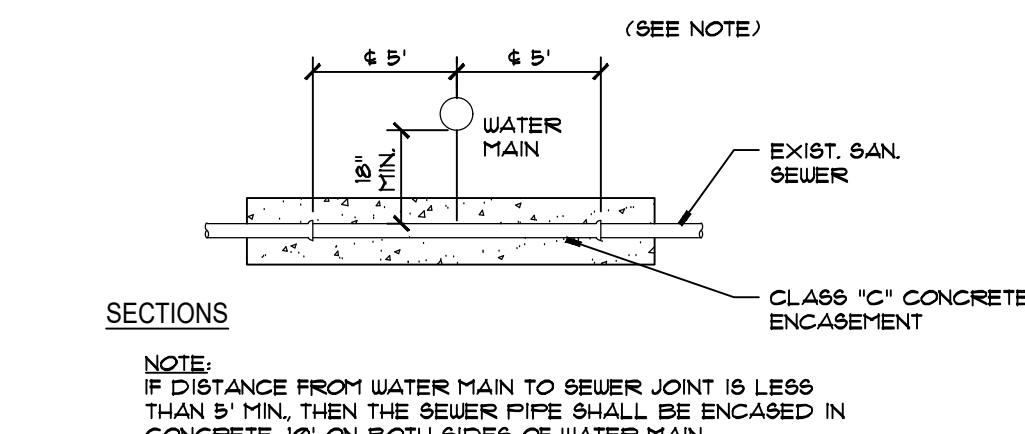
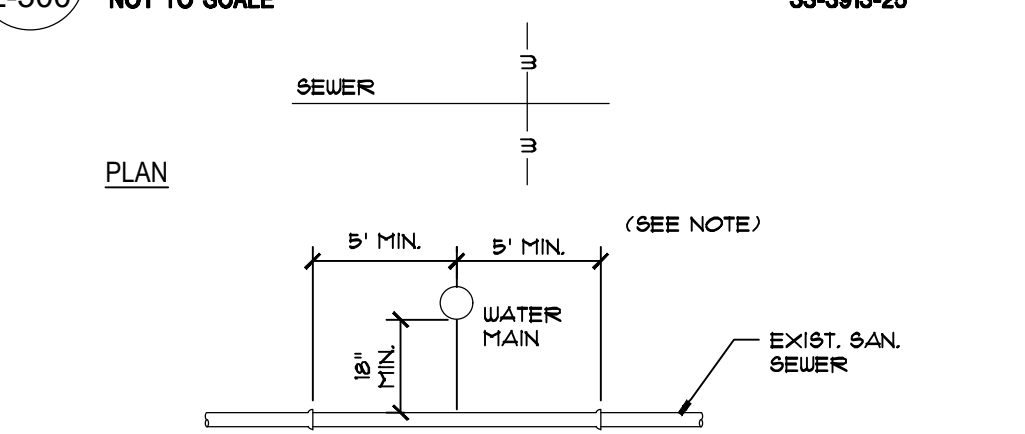
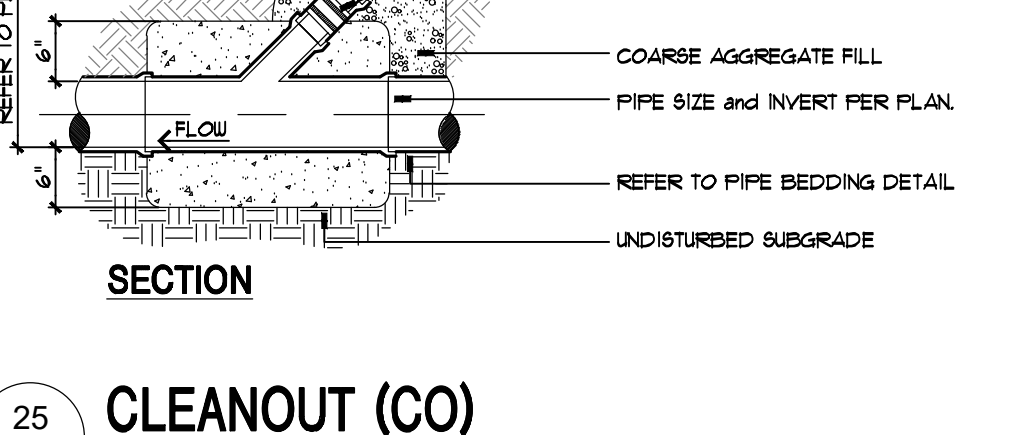
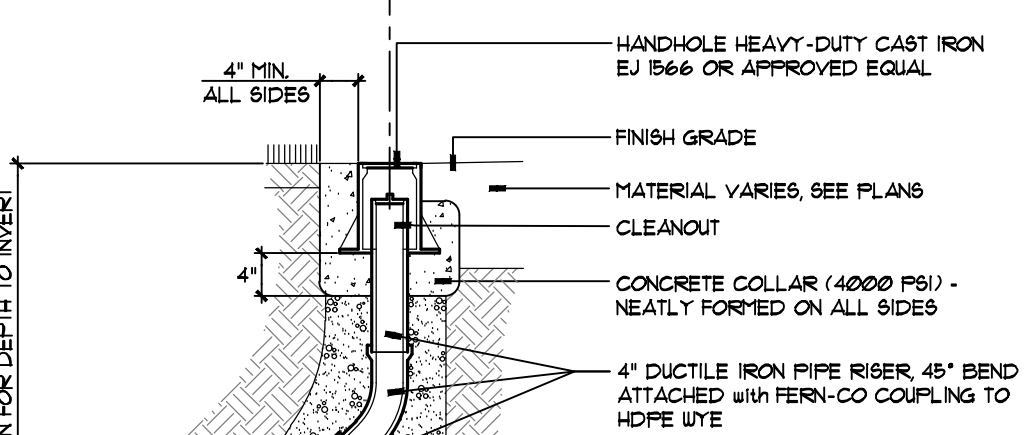
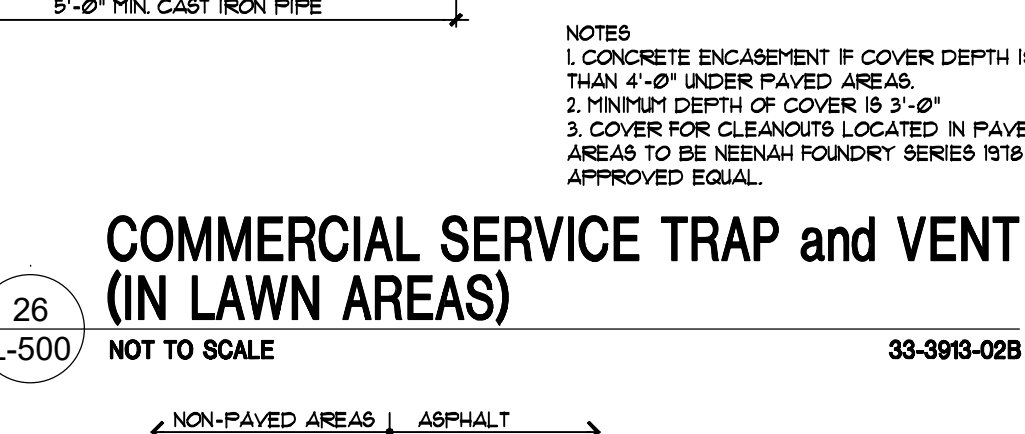
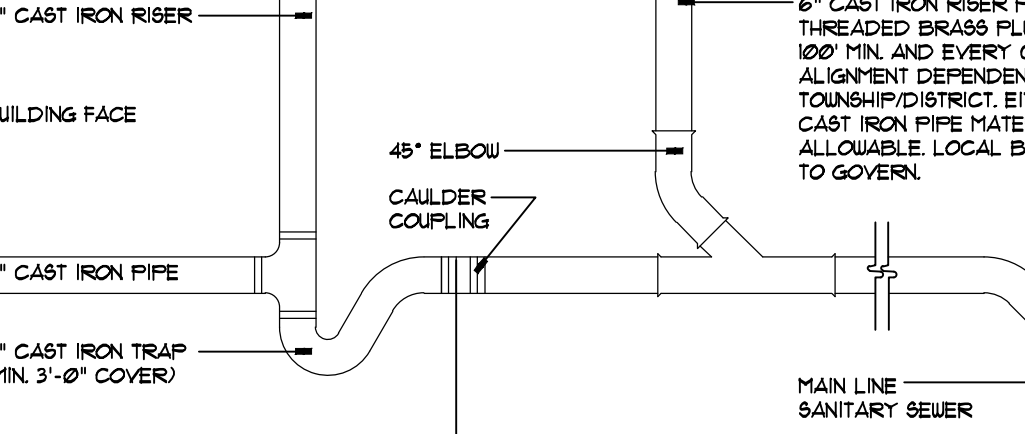
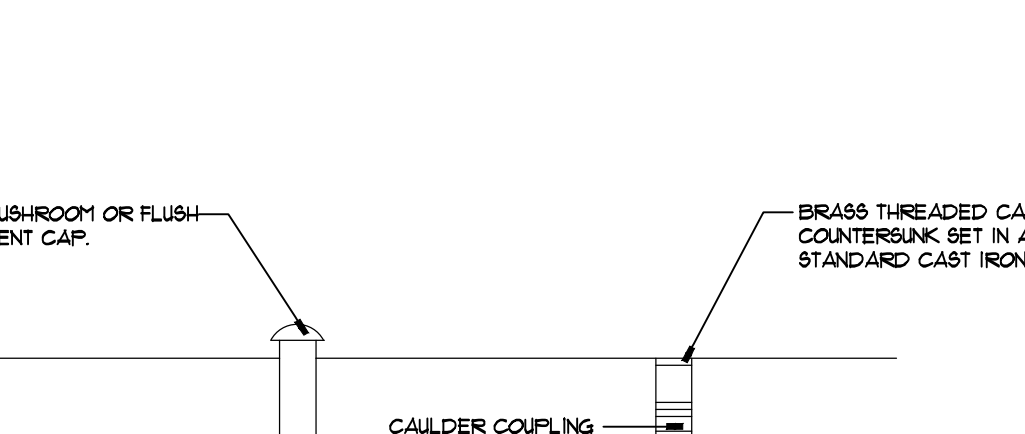
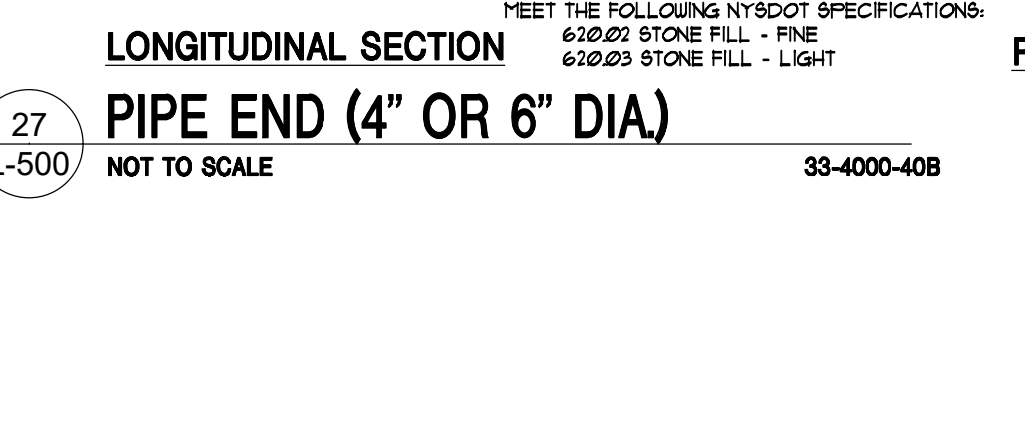
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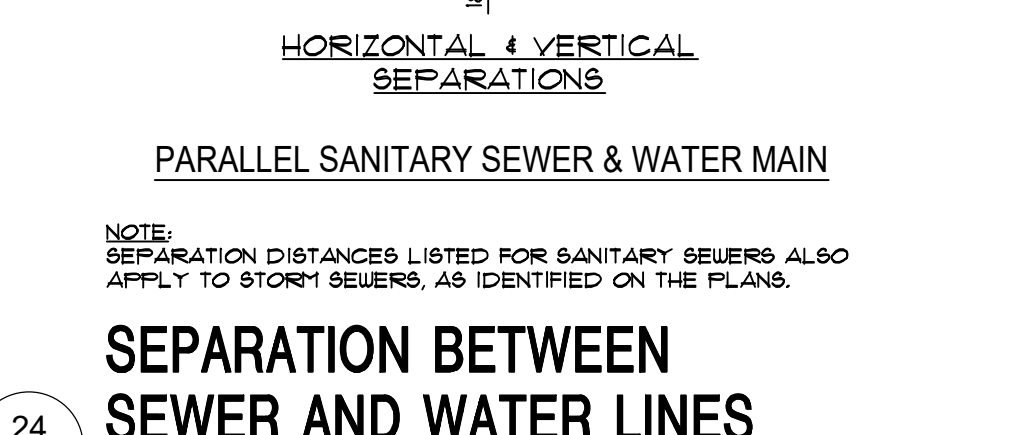
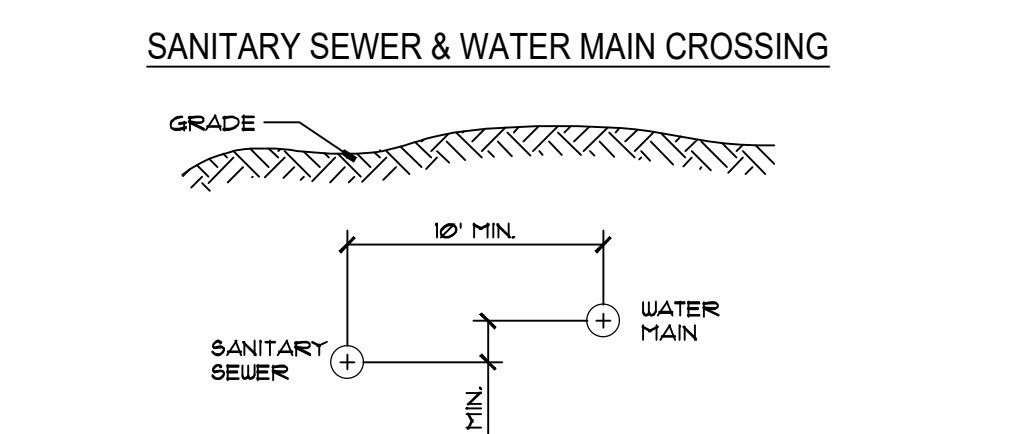
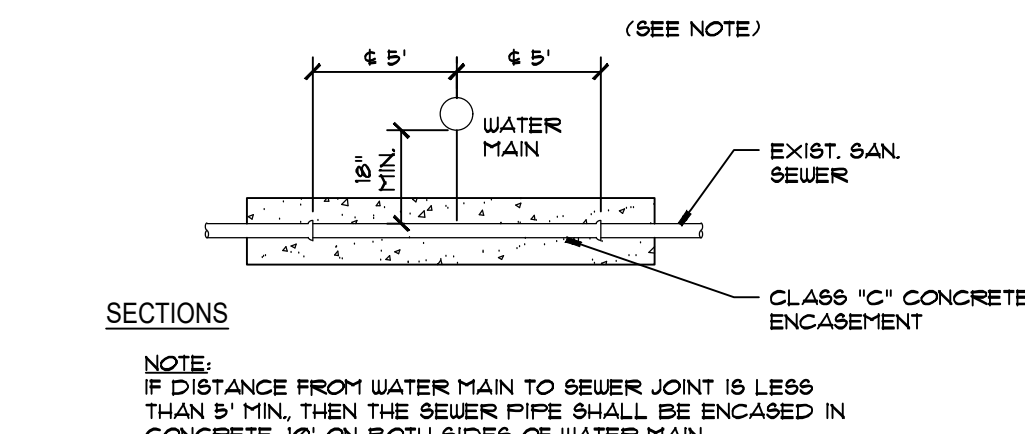
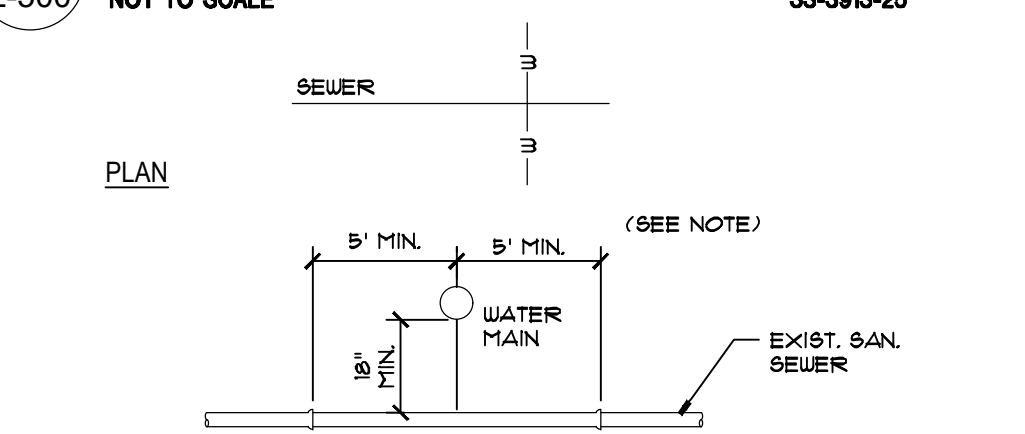
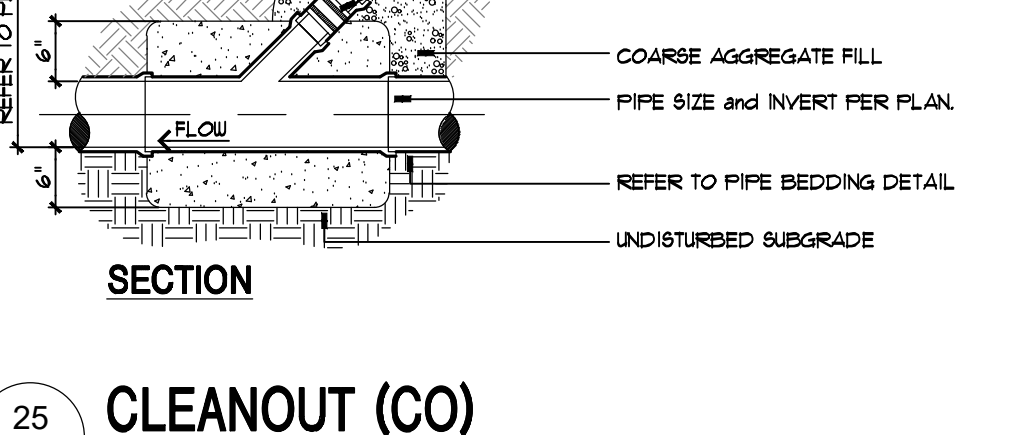
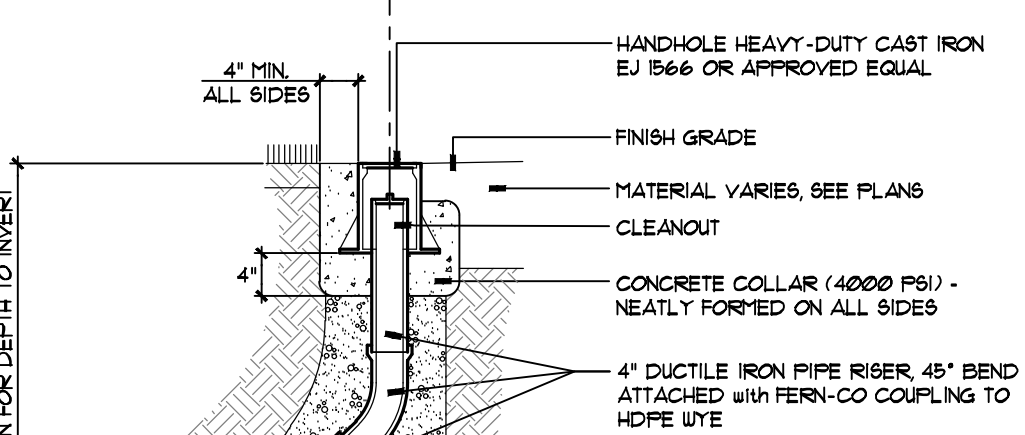
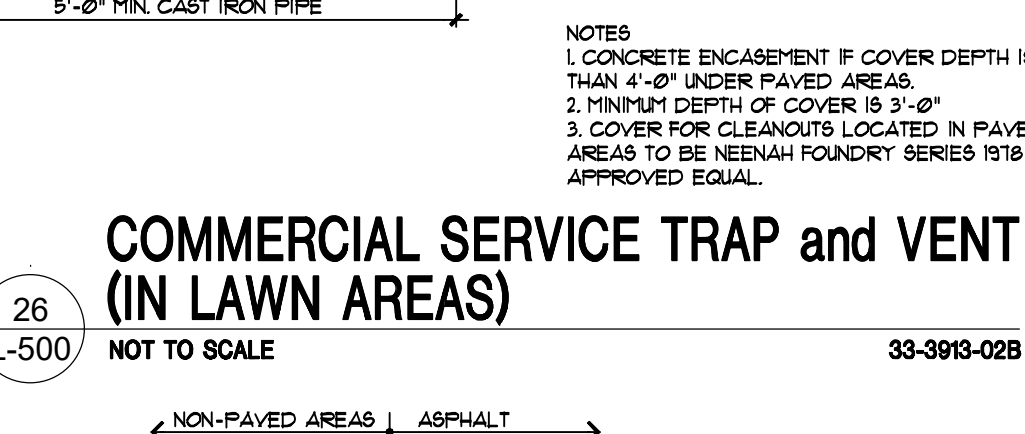
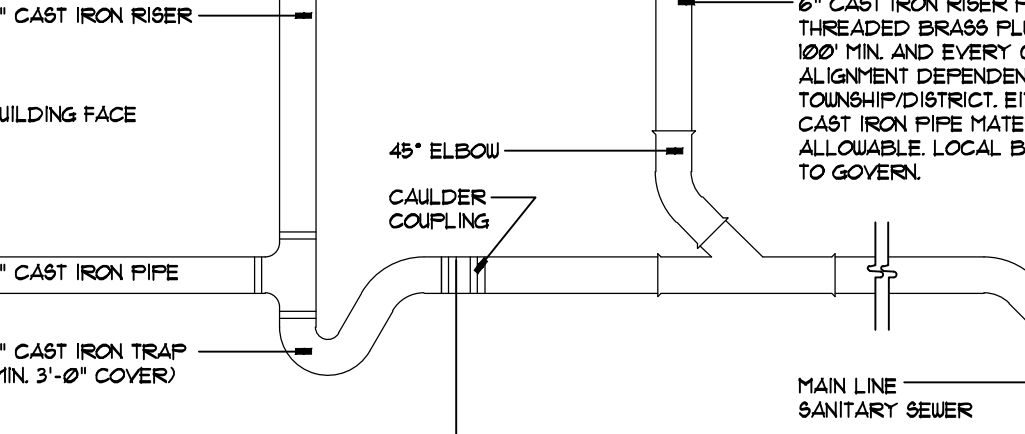
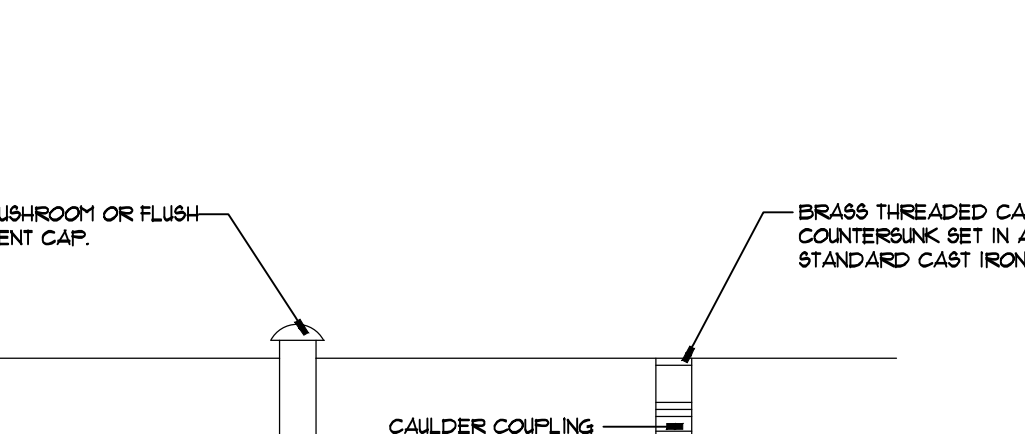
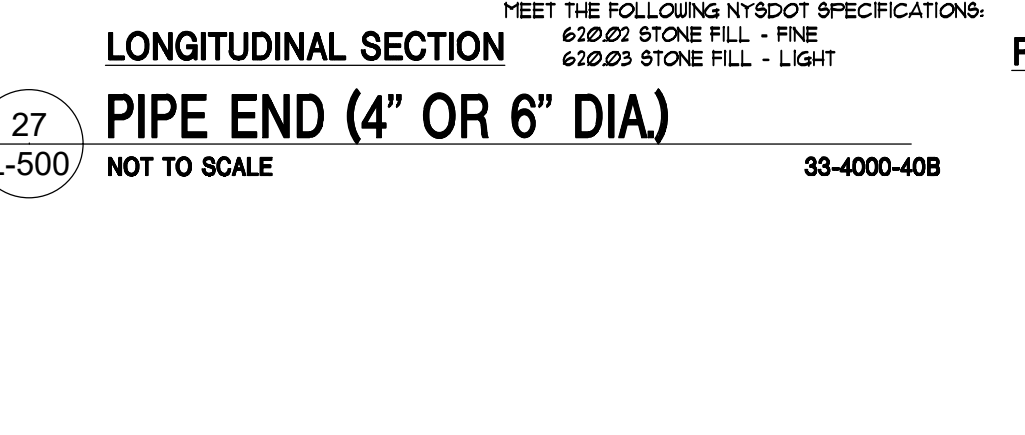
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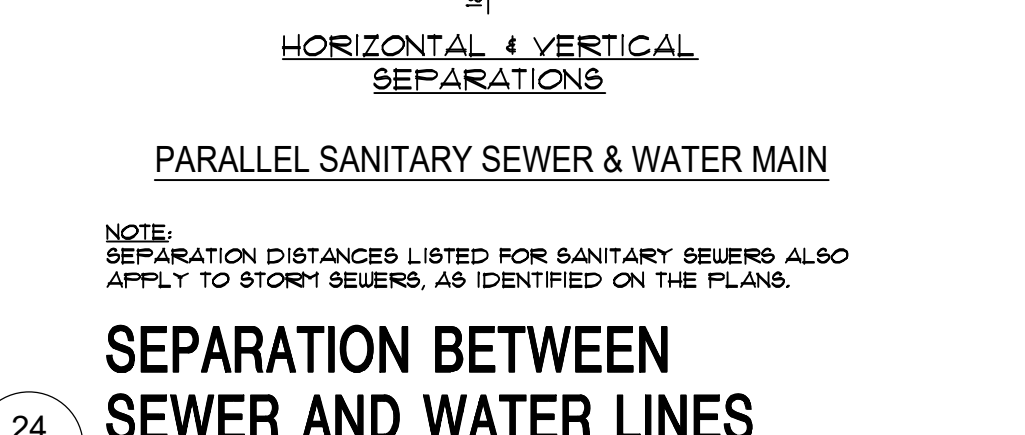
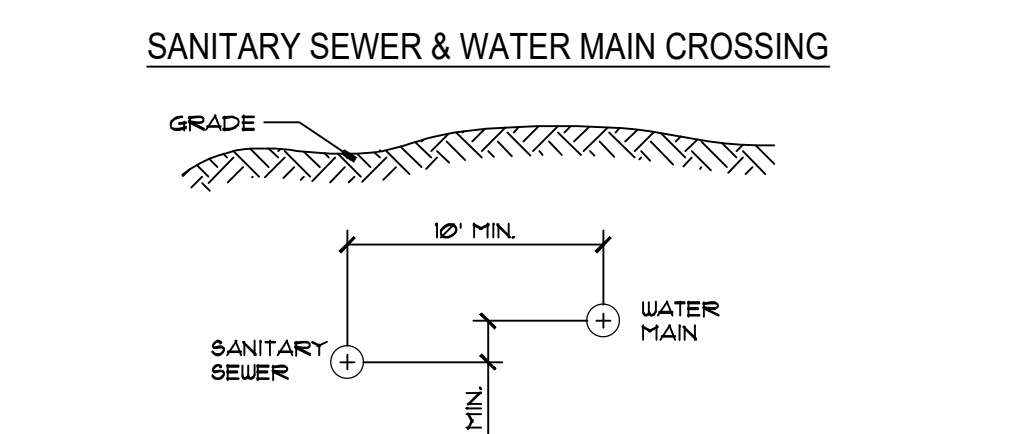
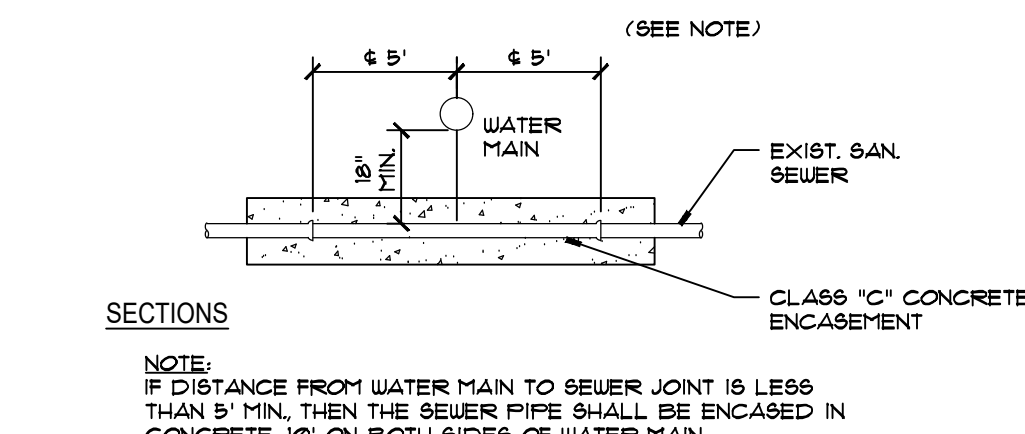
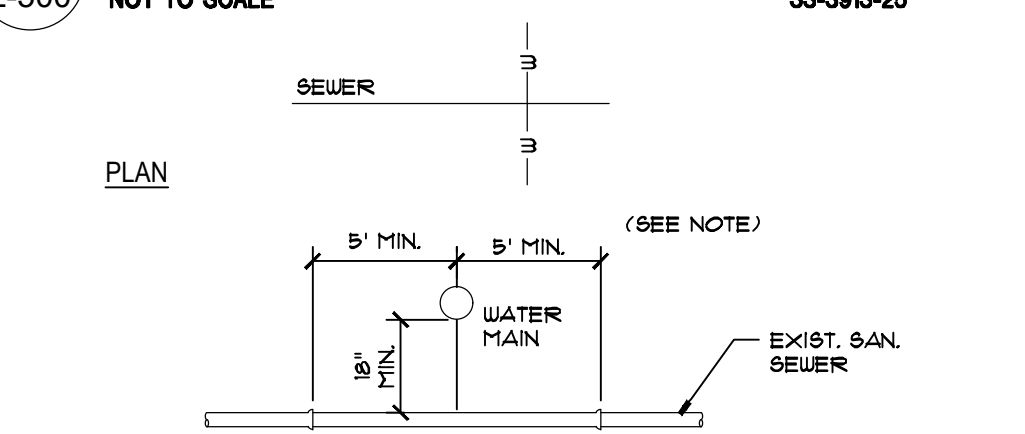
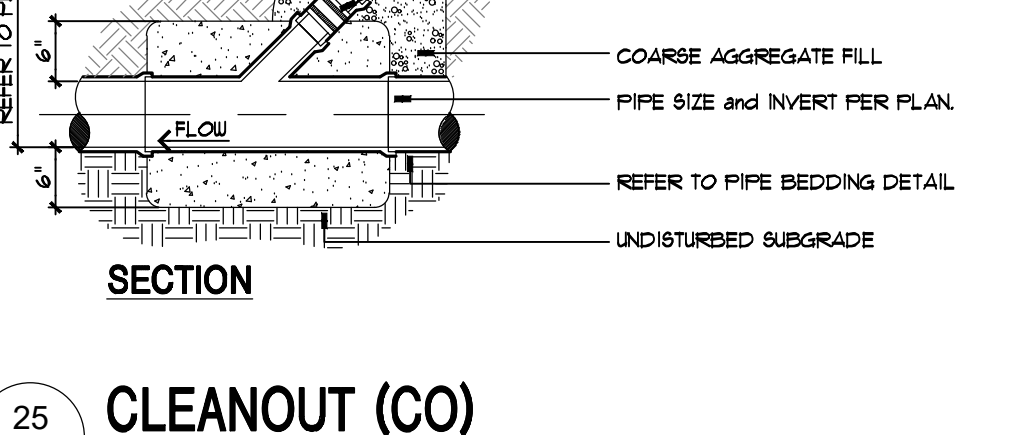
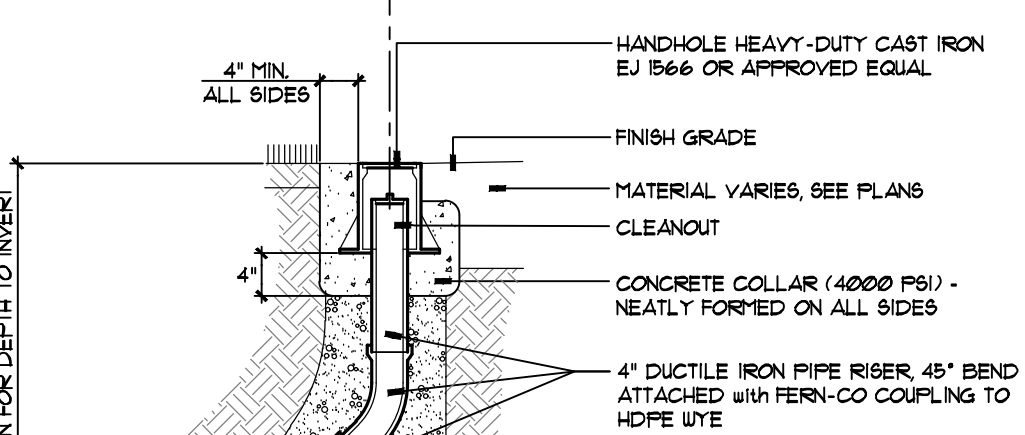
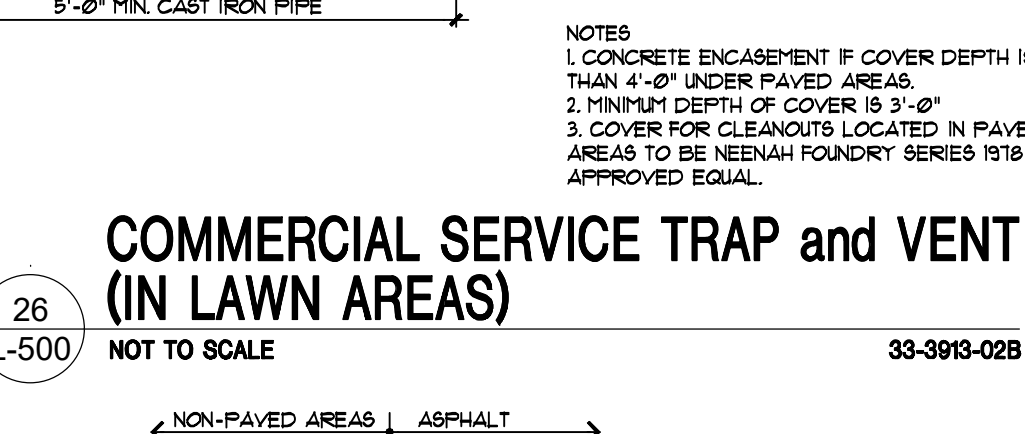
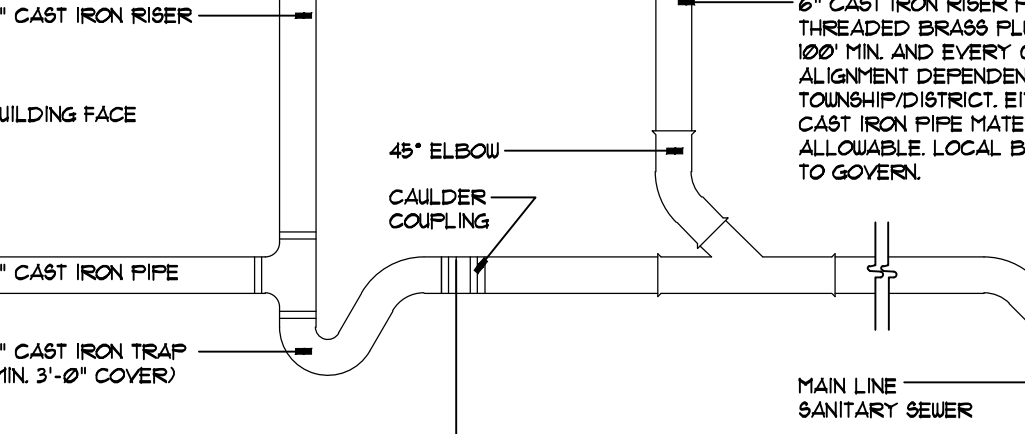
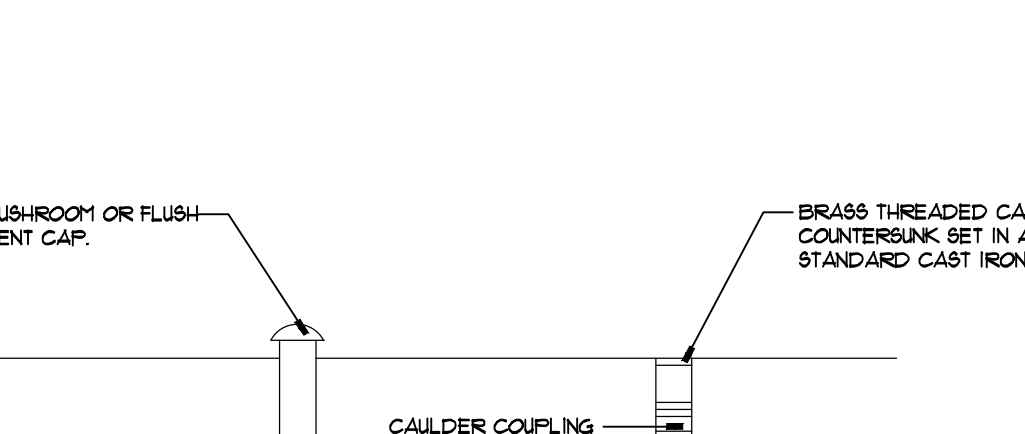
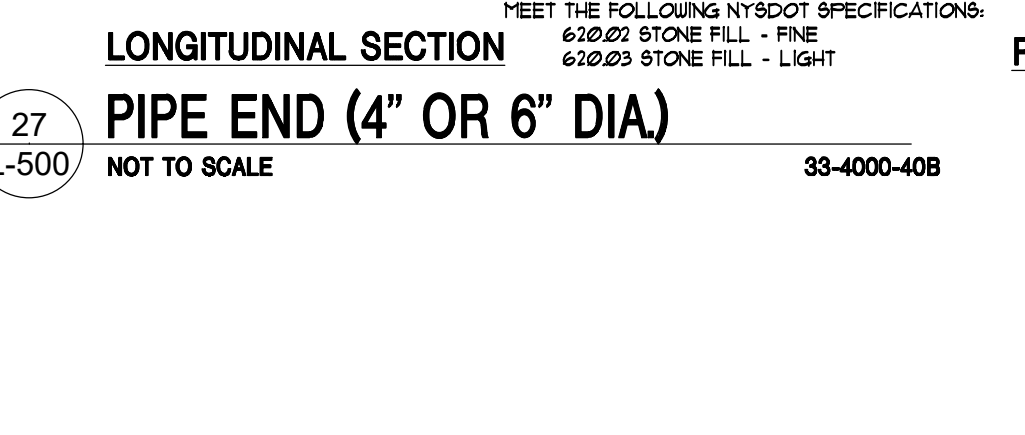
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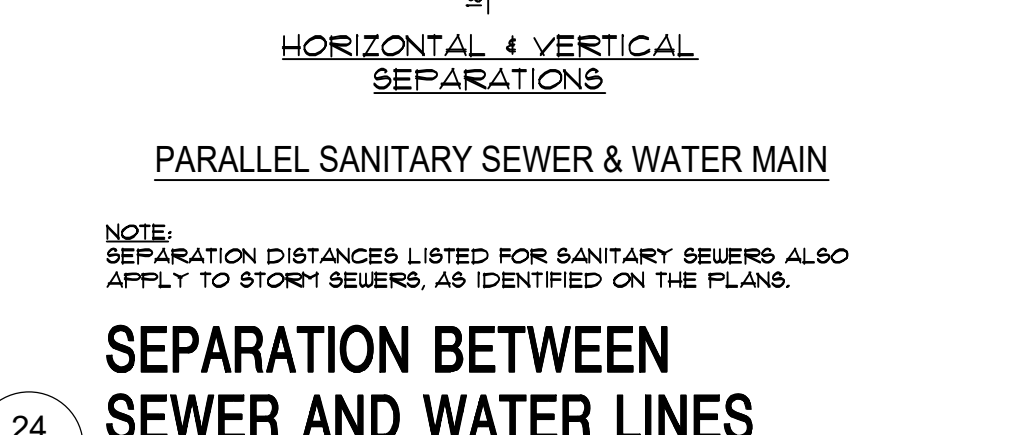
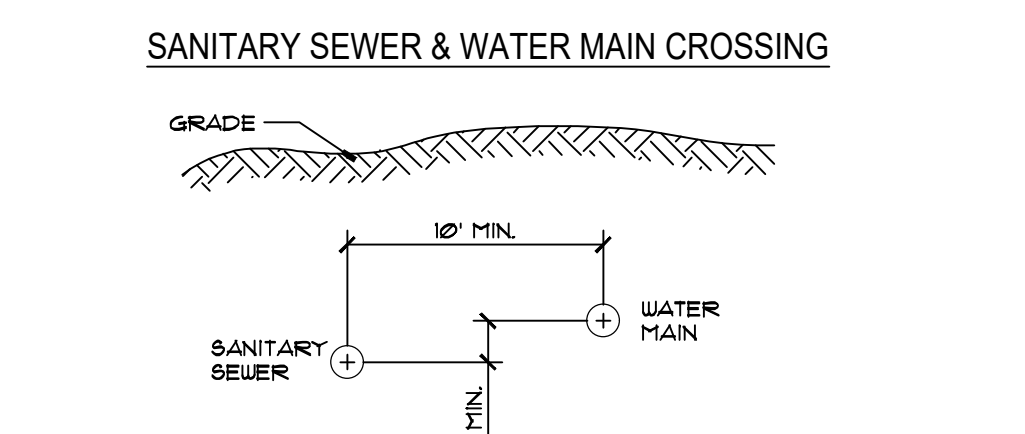
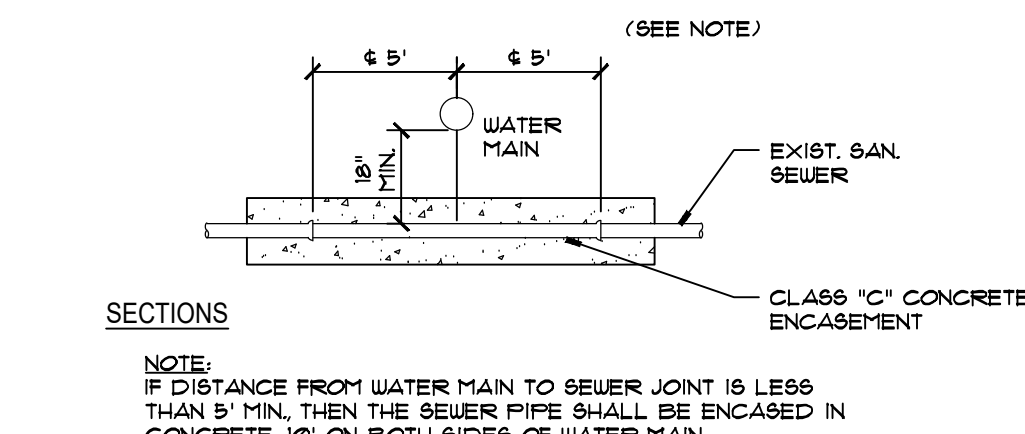
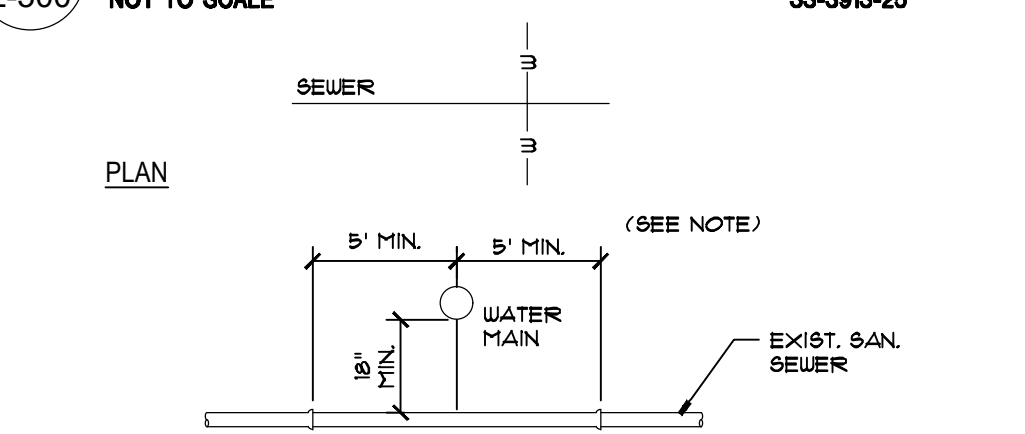
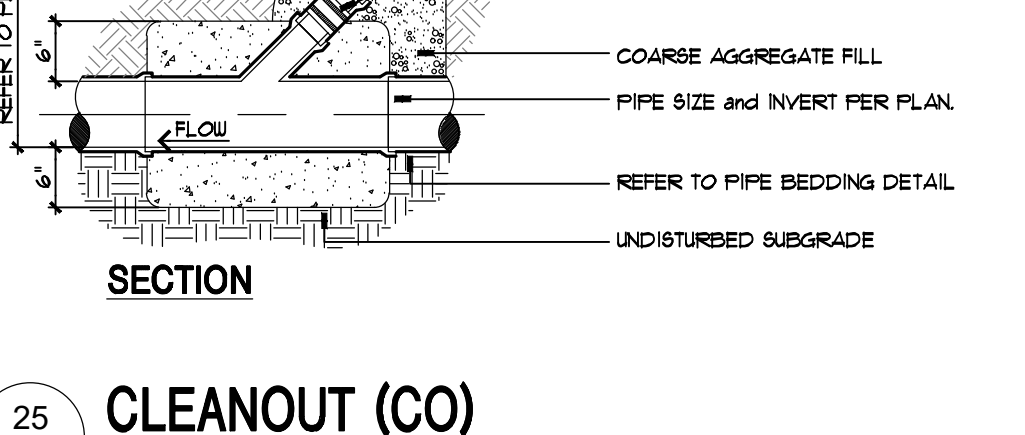
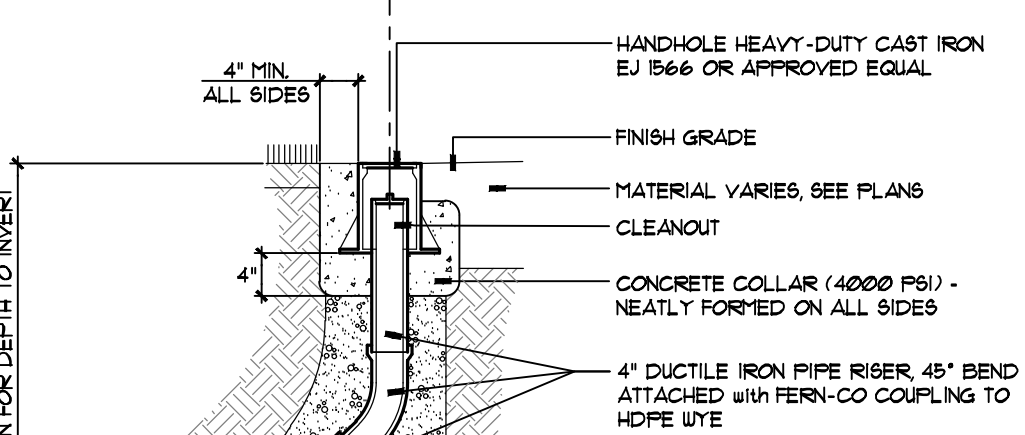
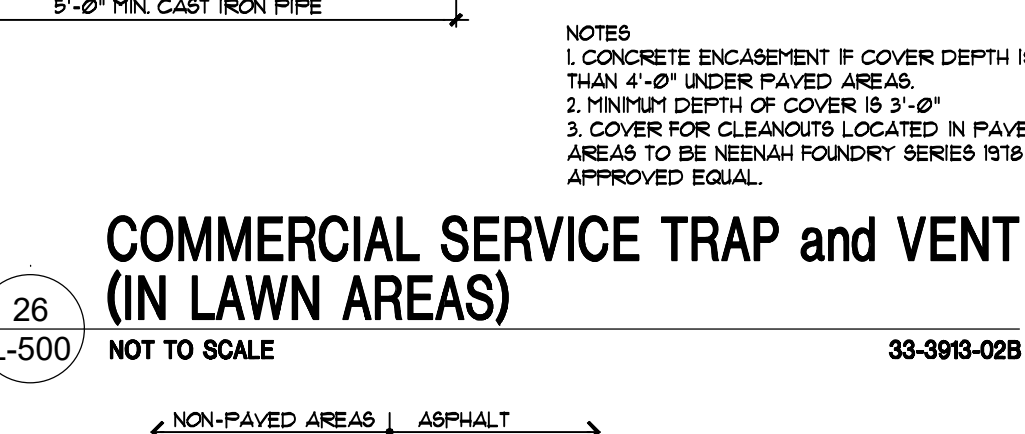
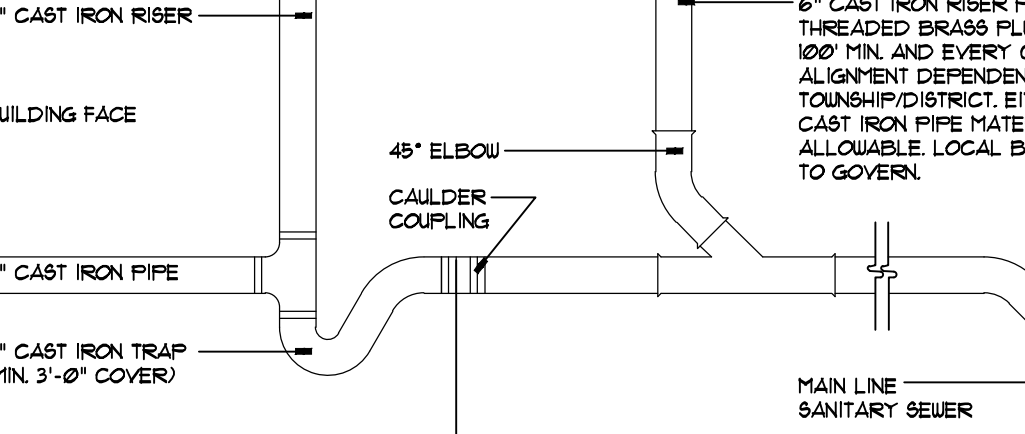
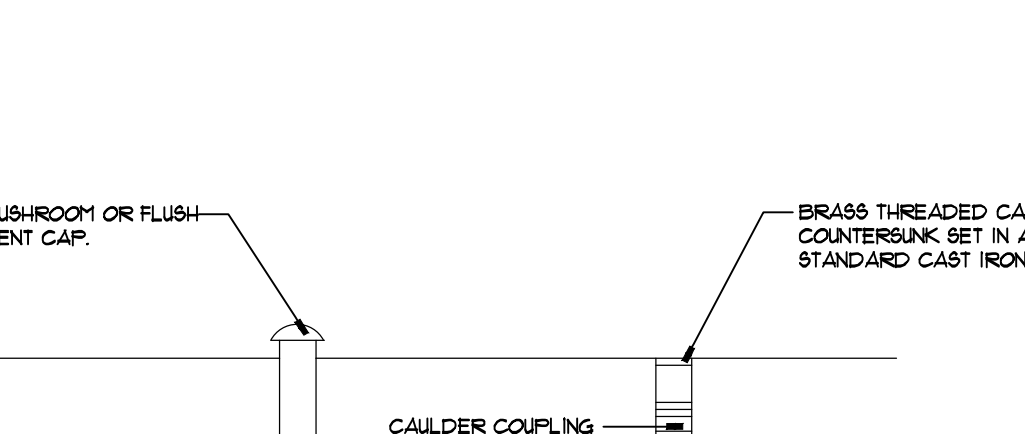
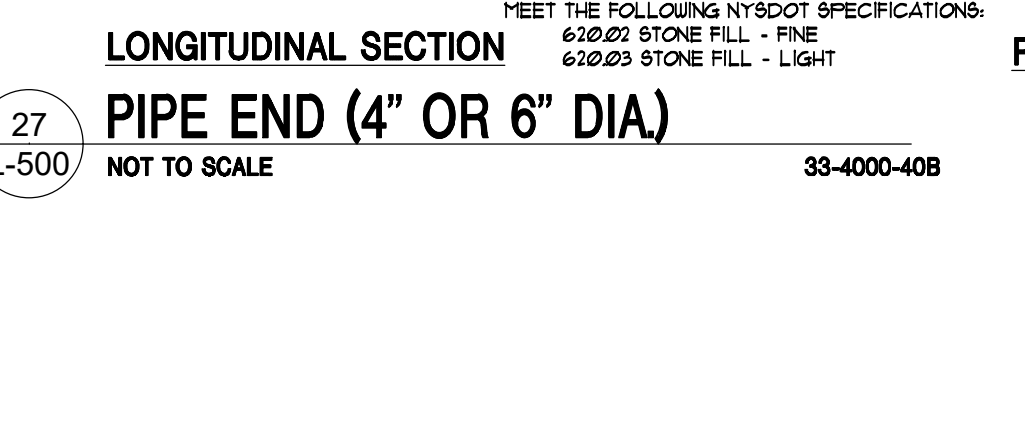
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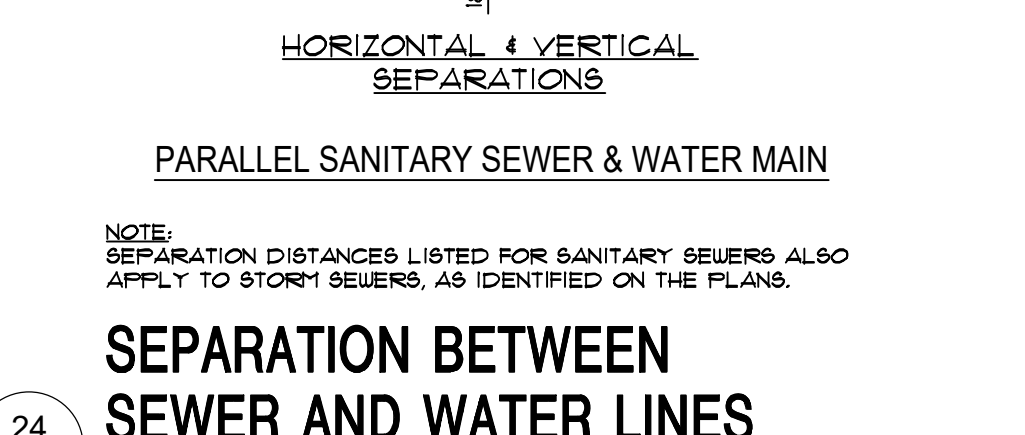
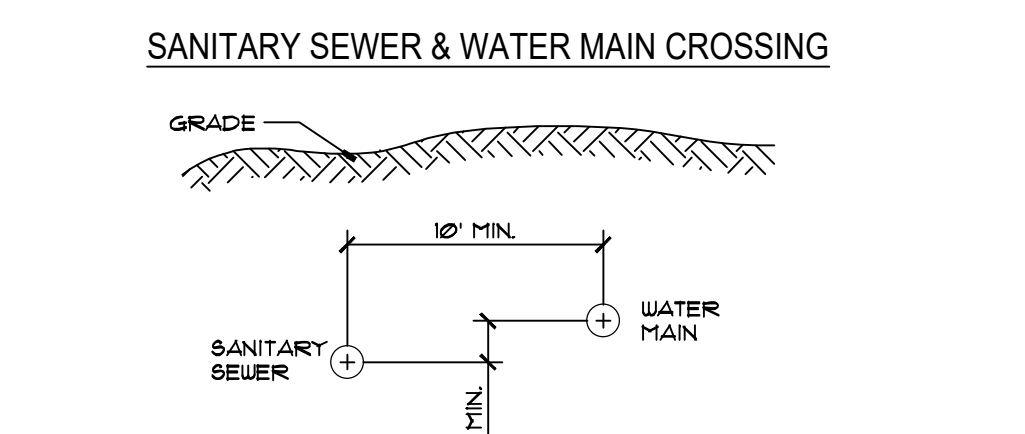
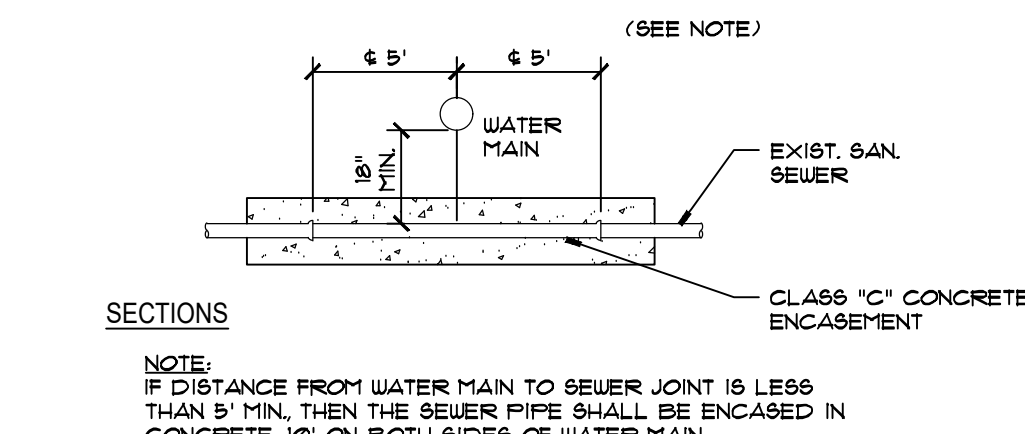
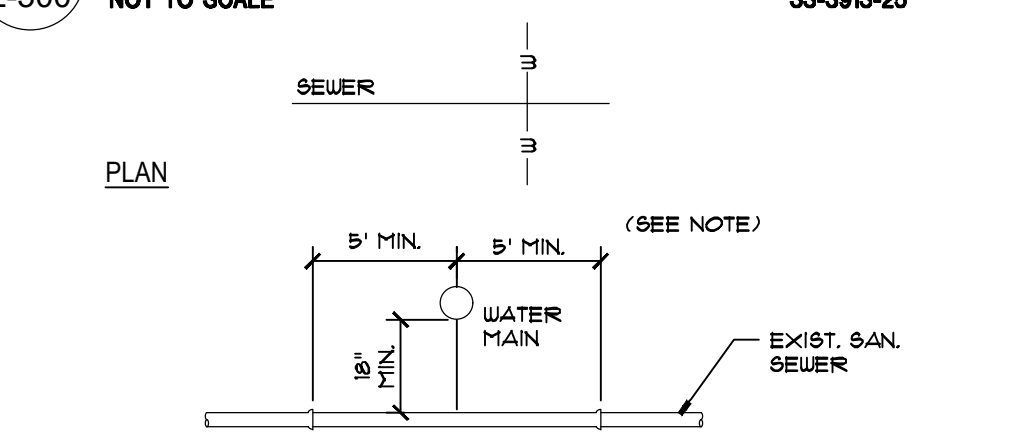
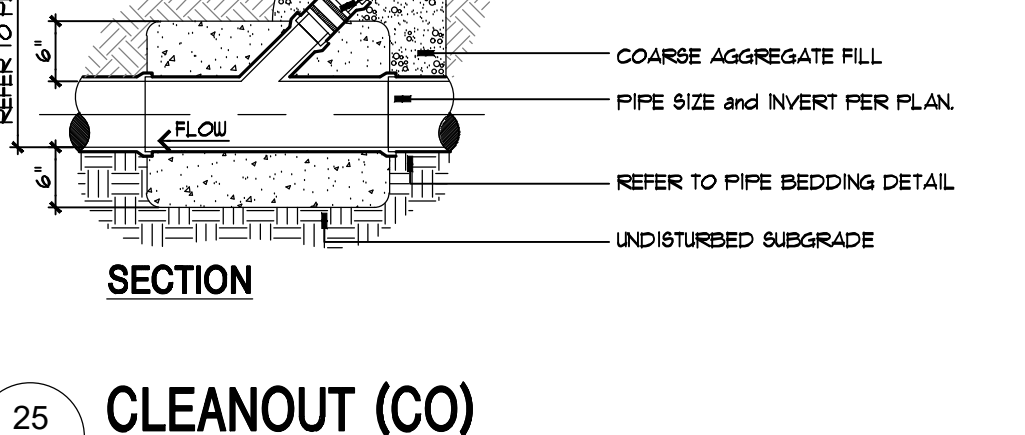
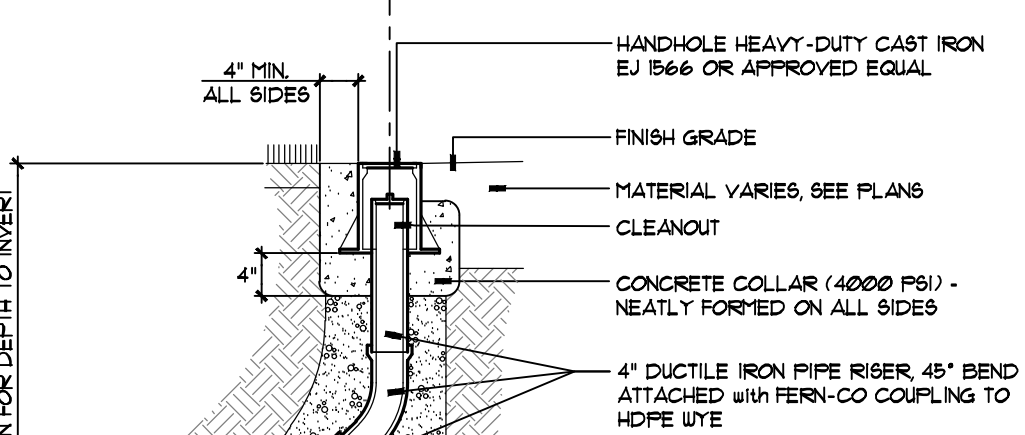
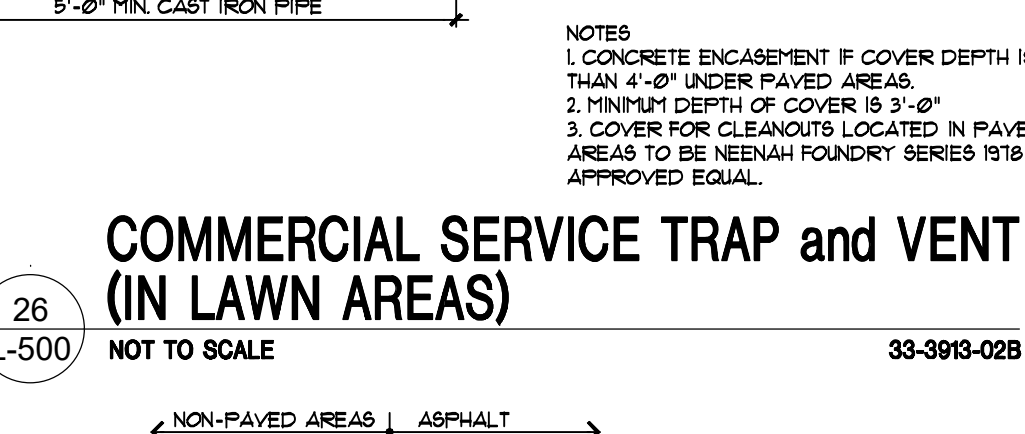
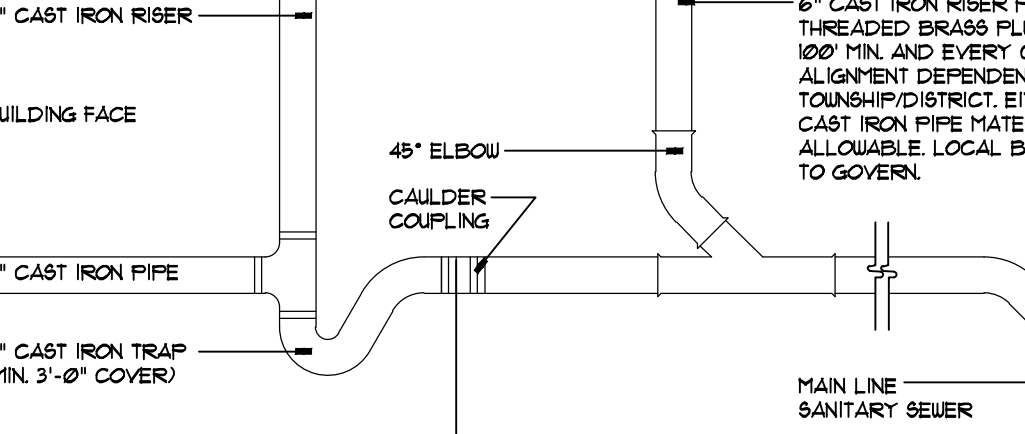
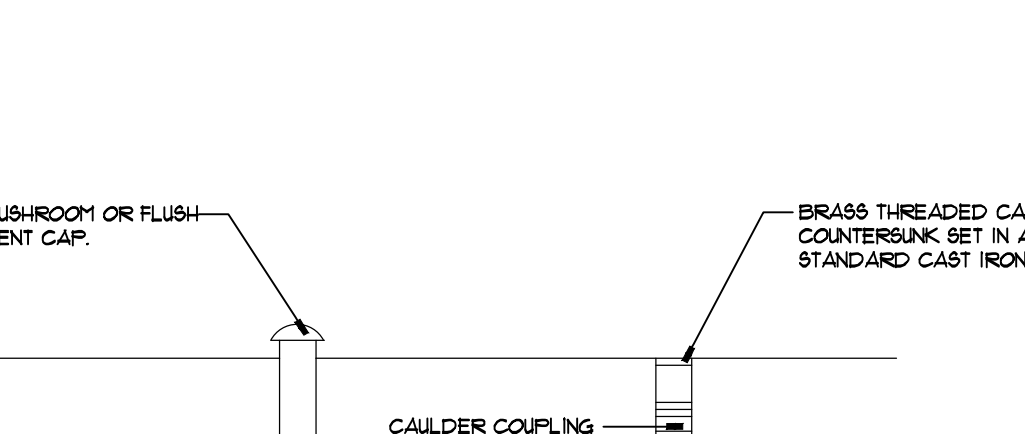
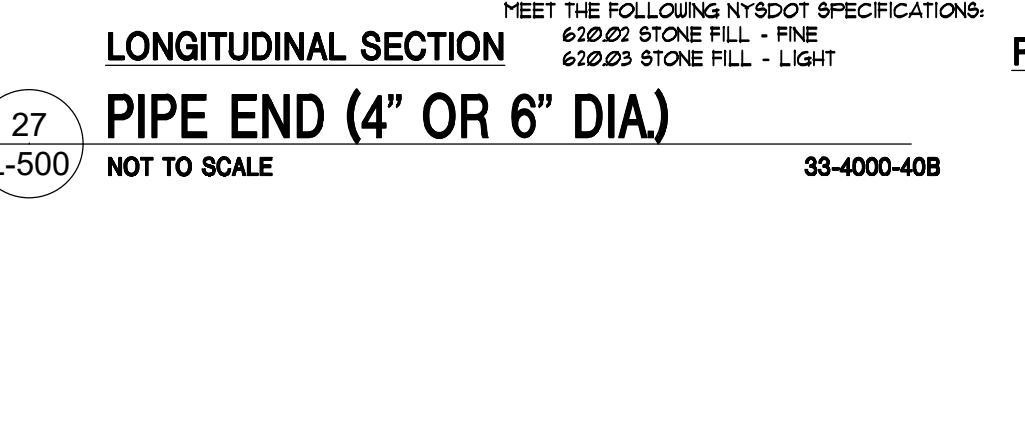
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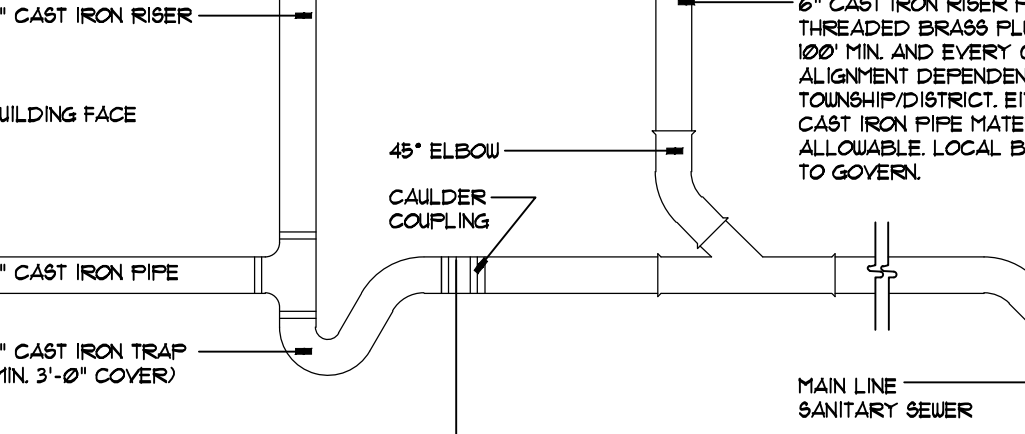
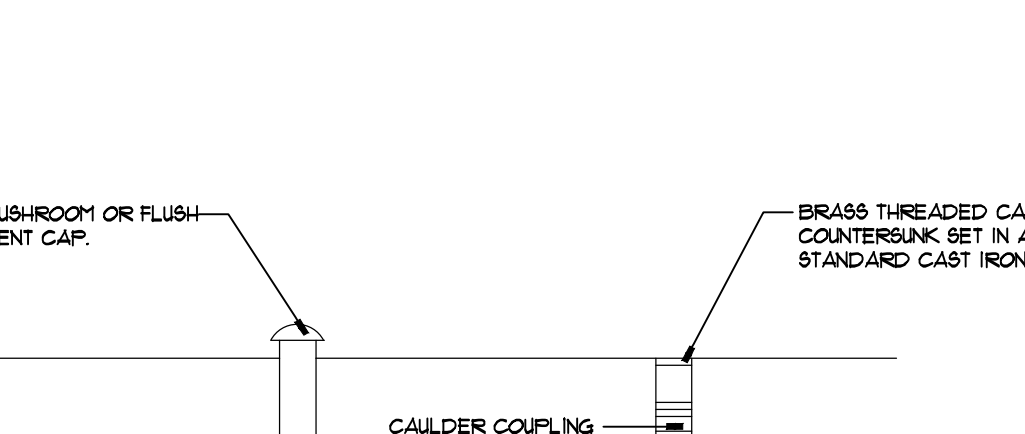
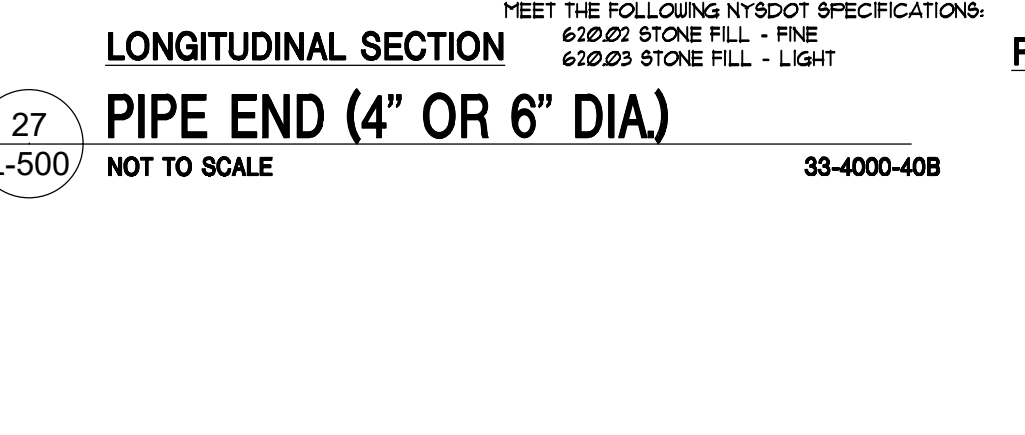
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SECTION 27 PIPE END (4\"/>





Client:
BROLEX PROPERTIES,
LLC.
Contact:
5912 N BURDICK ST,
EAST SYRACUSE, NY
13057
315-559-0556 (Phone)

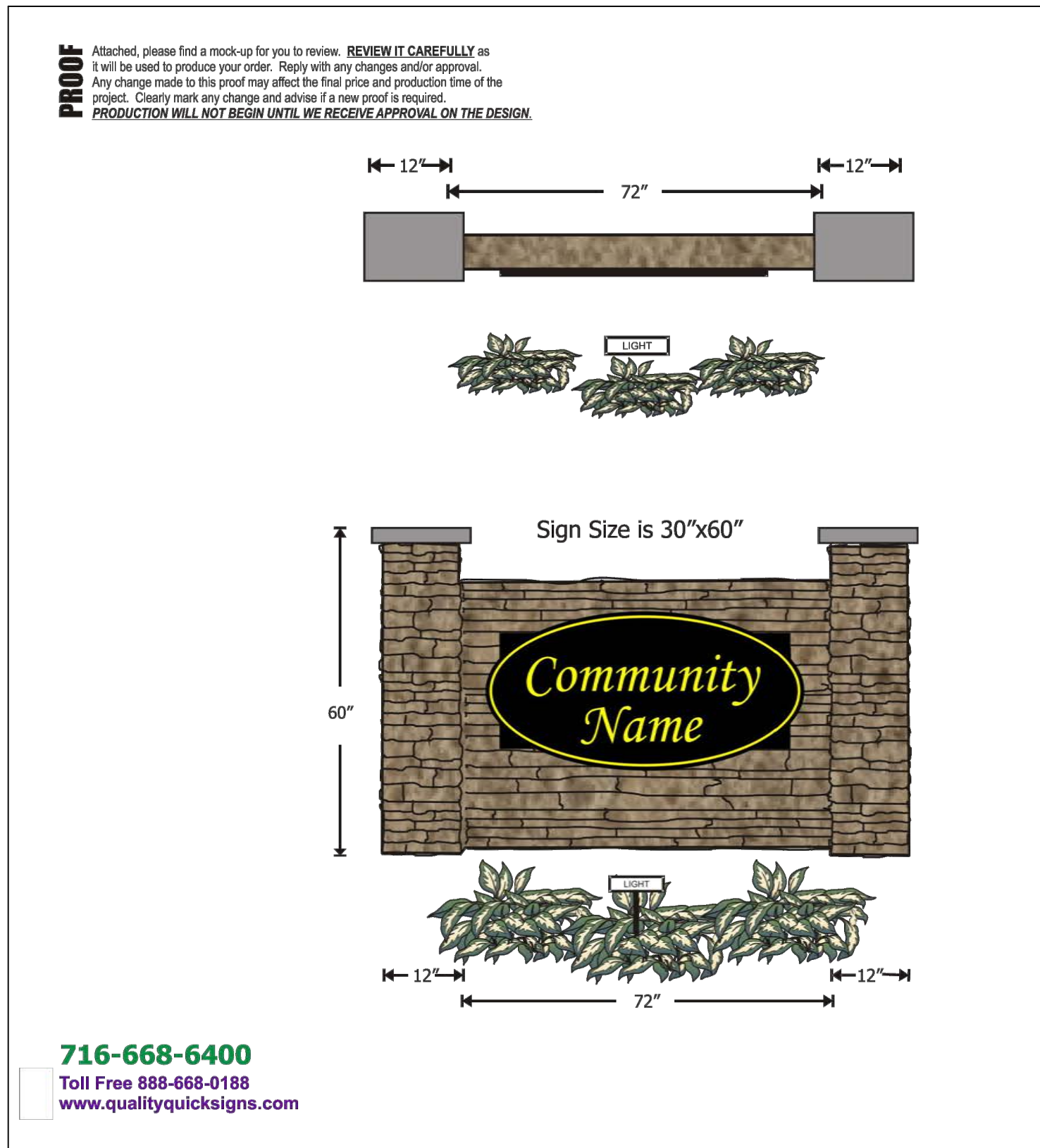
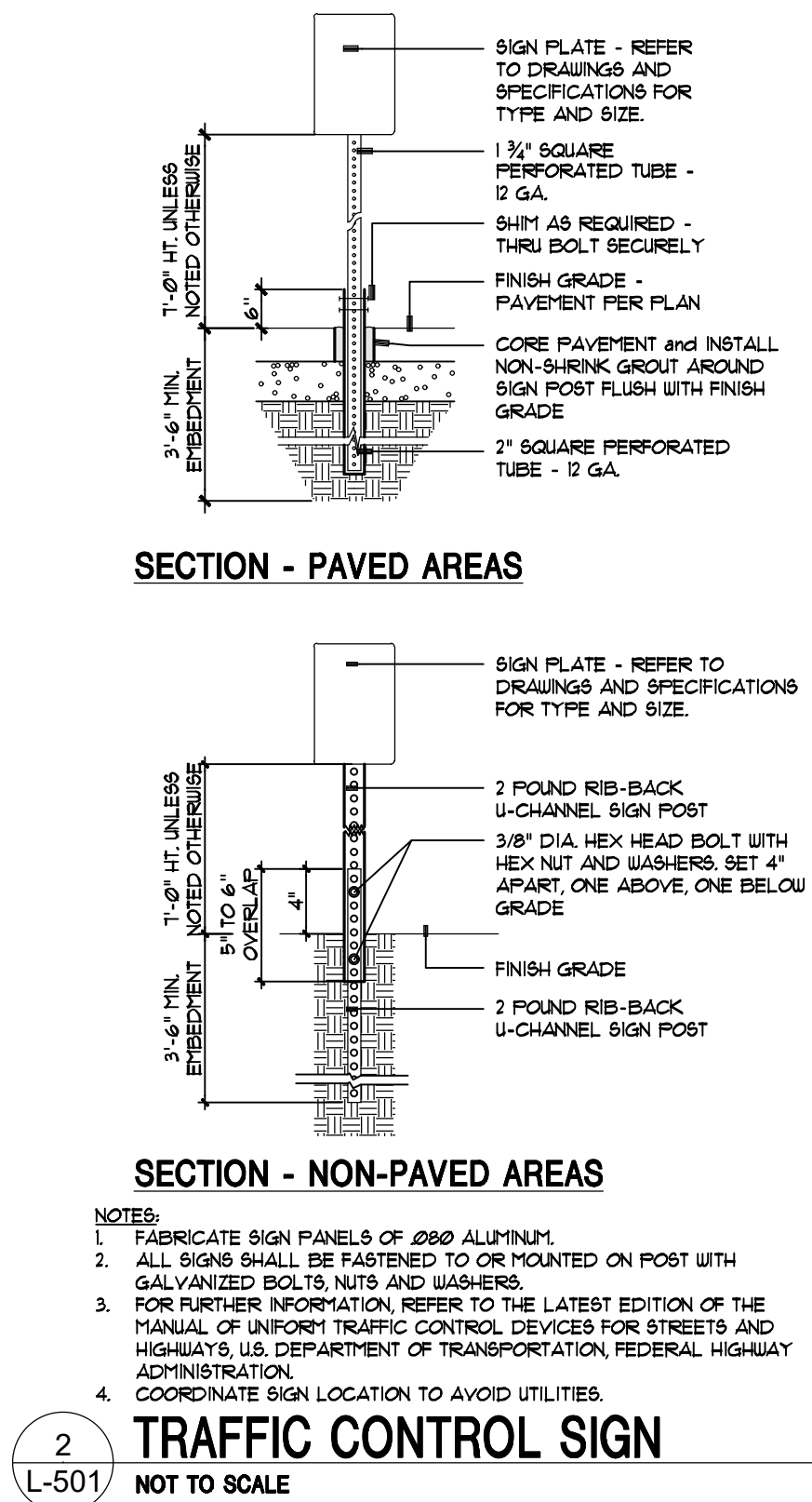
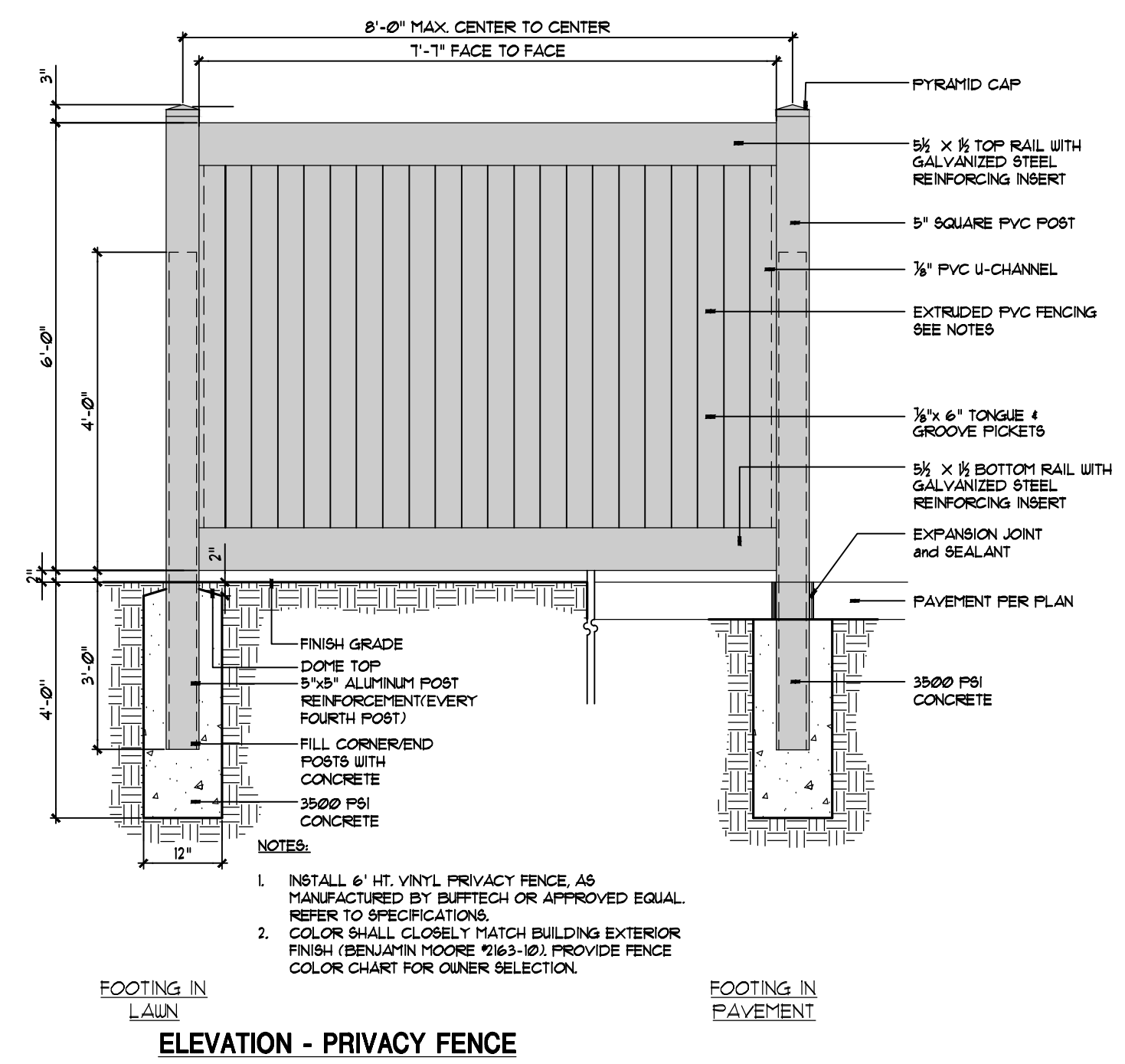
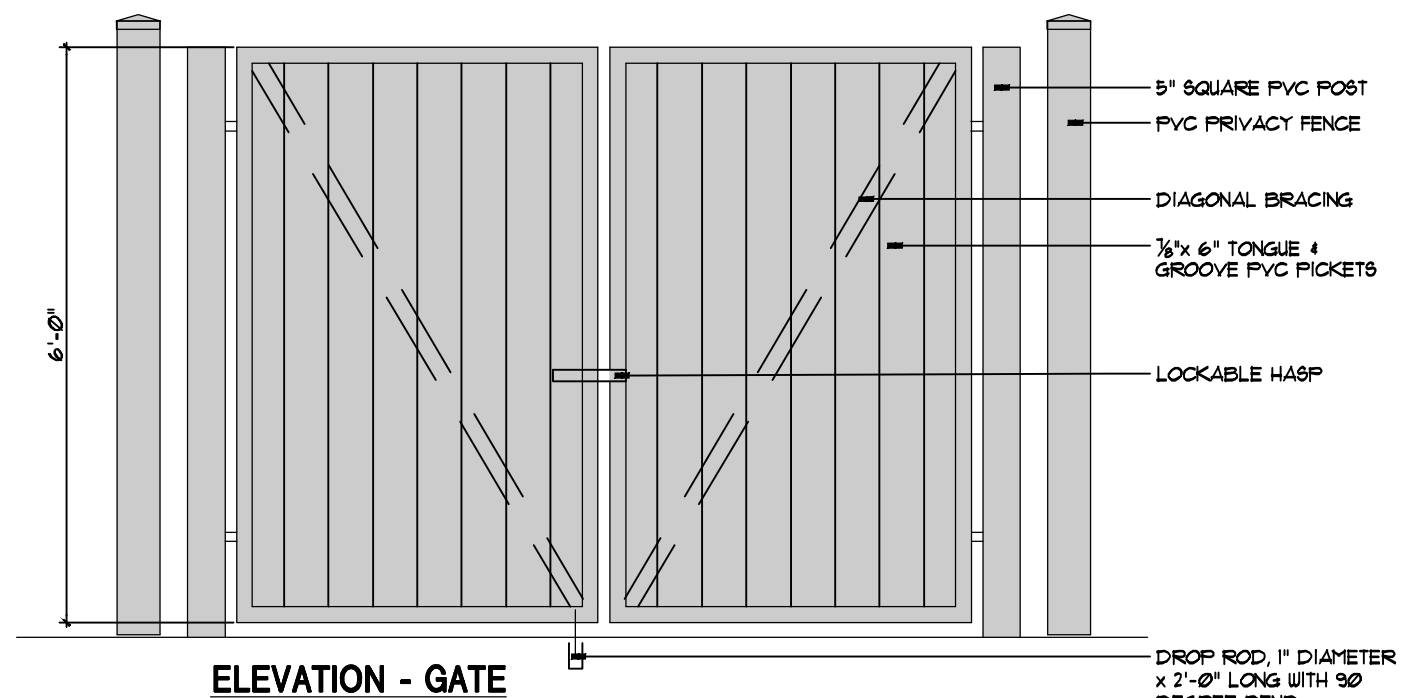
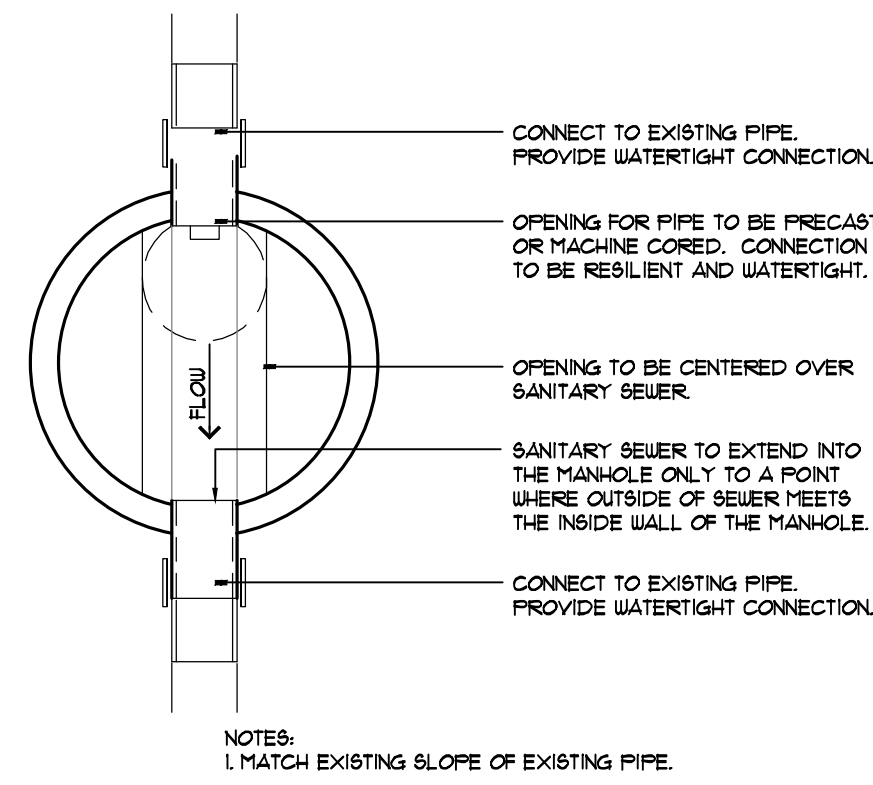
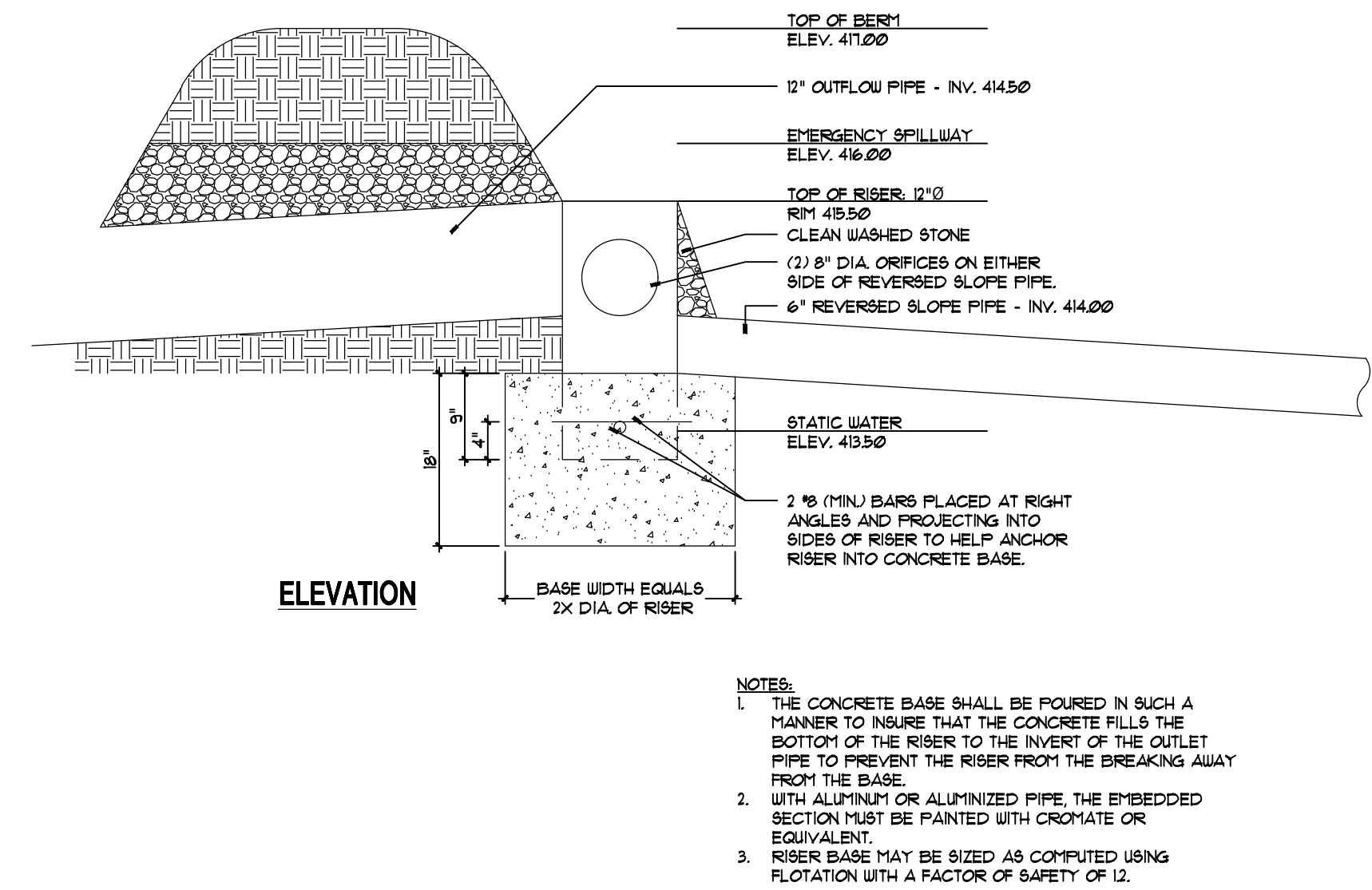
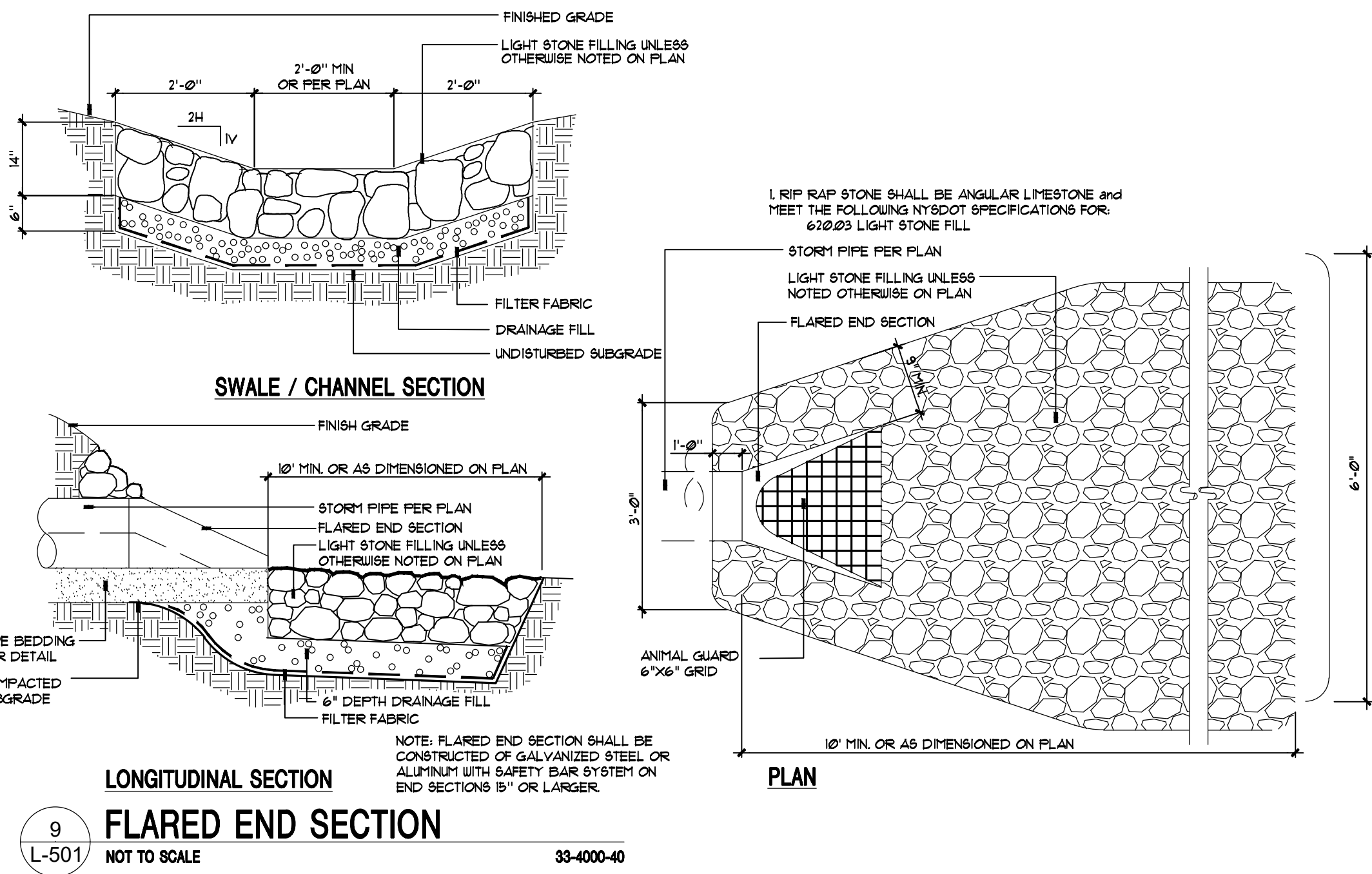
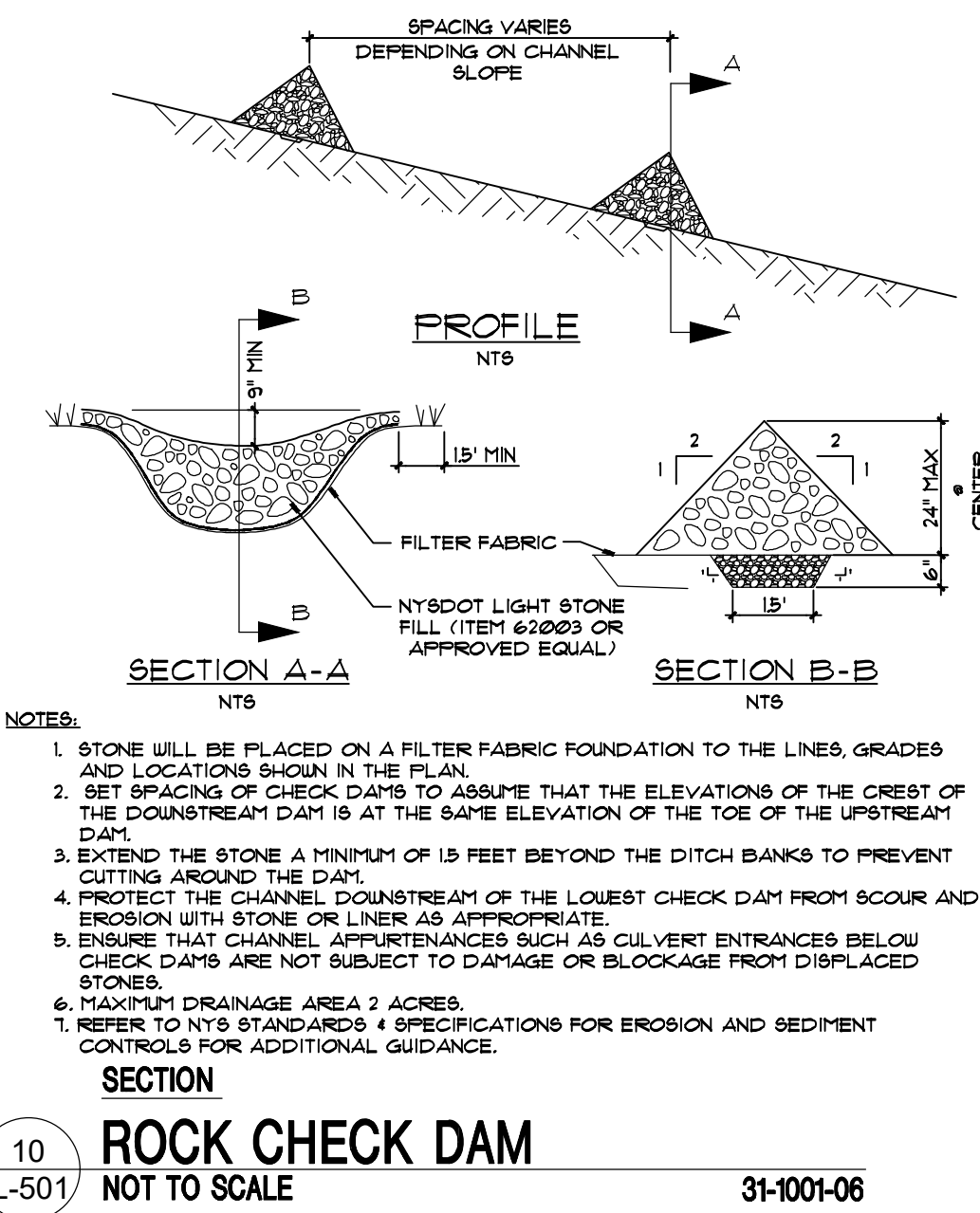
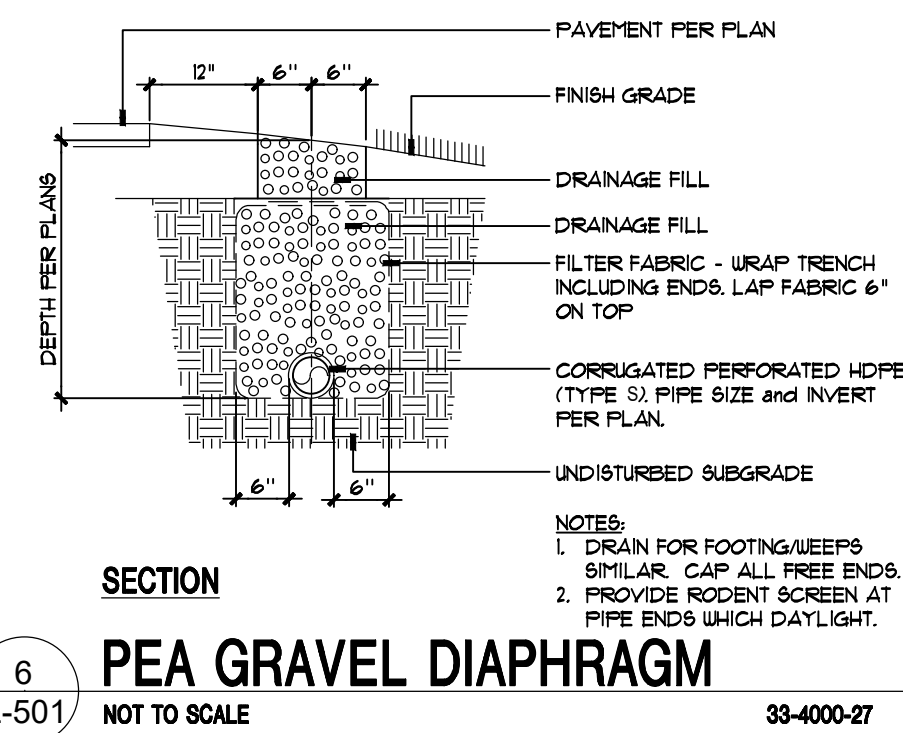
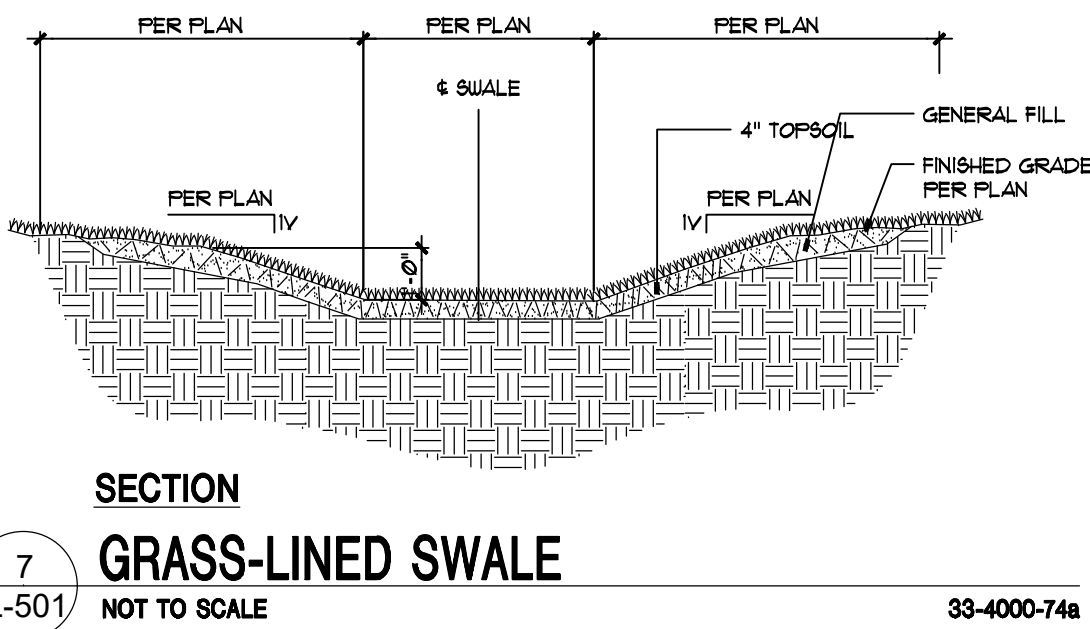
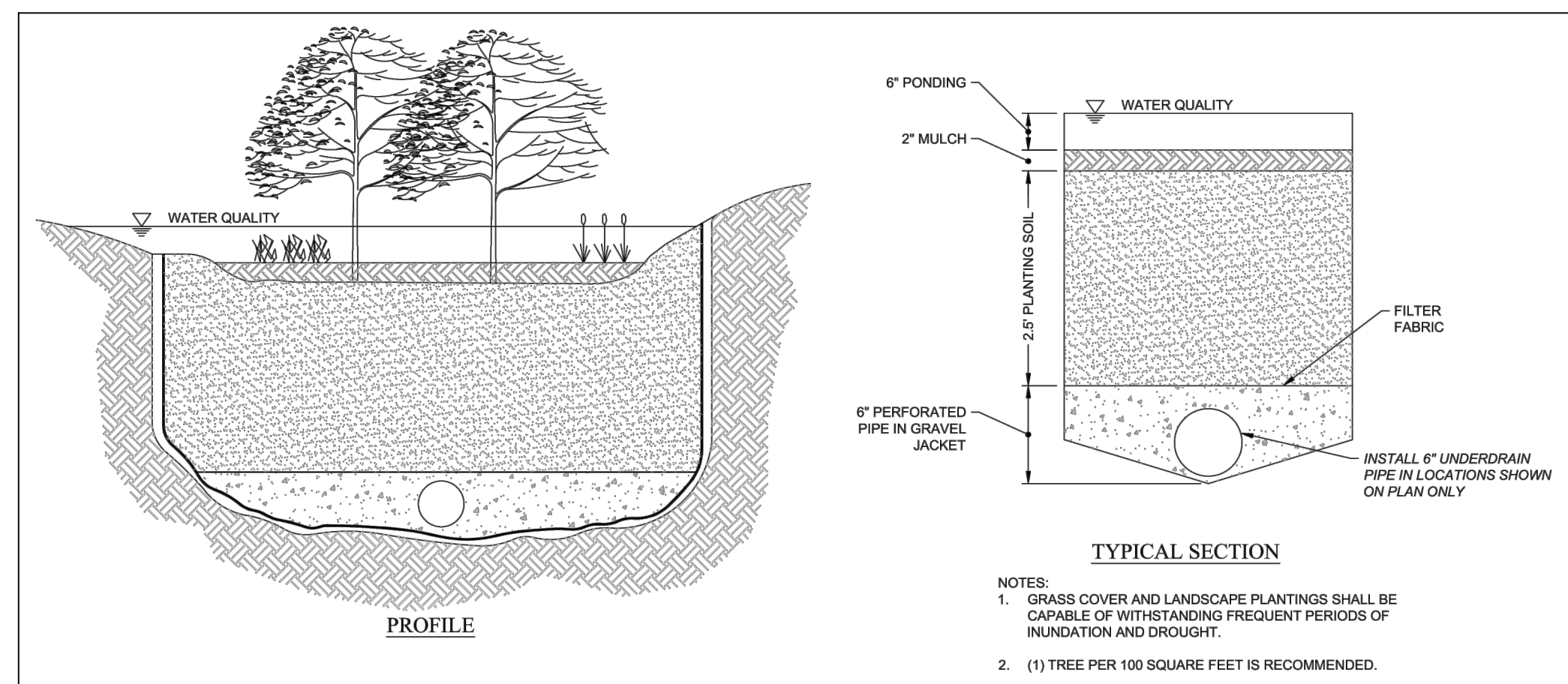
ROUTE 11 APARTMENTS
444 S. MAIN ST., NORTH SYRACUSE, NY

REVISIONS	
COMMENT LETTER UPDATES-	V.E.R.
JULY 15, '20	S.L.F.
PLANNING BOARD UPDATES-	40020
JULY 30, '20	
PLANNING BOARD UPDATES-	
AUG. 14, '20	
PLANNING BOARD UPDATES-	
AUG. 20, '20	
ENG. UPDATES- SEPT. 24, '20	

Drawn By: _____
Checked By: _____
KFA Proj. No.: 40020
Date: JUNE 11, 2020
Scale: AS NOTED
Title: _____

DETAILS

L-501





Palace Court
Apartment

PROPOSED 24 UNIT APARTMENT BLDG.
NORTH SYRACUSE, NEW YORK

FRONT ELEVATION
NOT TO SCALE

RAV

ARCHITECT P.C.

7515 Morgan Road
Liverpool, NY 13090
Ph: 315-472-9848
Fax: 315-472-9876
Email: rwater@cdtcad.com

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Route 11 Apartments		
Project Location (describe, and attach a general location map): 444 S. Main St. North Syracuse, NY 13212		
Brief Description of Proposed Action (include purpose or need): New construction of (3) Multi-family residential buildings with approximately 60 units. A 90 parking space lot will be constructed along with utilities, stormwater management, and green space. Waste enclosures will be constructed and provided for residents. A proposed drive is located along S. Main St. and will relocate the existing curb cut. NYSDOT permit is required for the new driveway access.		
Name of Applicant/Sponsor: Brolex Properties, LLC	Telephone: (315) 559-0556	
	E-Mail:	
Address: 5912 N. Burdick St.		
City/PO: Manlius	State: NY	Zip Code: 13057
Project Contact (if not same as sponsor; give name and title/role): Keplinger Freeman Associates	Telephone: (315) 445-7980	
	E-Mail:	
Address: 6320 Fly Rd. Suite 109		
City/PO: East Syracuse	State: NY	Zip Code: 13057
Property Owner (if not same as sponsor): 444 South Main Street, LLC	Telephone:	
	E-Mail:	
Address: 6709 Brooklawn Pkwy		
City/PO: Syracuse	State: NY	Zip Code: 13211

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Village of North Syracuse Planning Commission	5/21/2020
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	SOCPA	4/08/2020
f. Regional agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	OCWA, OCWEP	5/21/2020
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS DOT, NYS DEC	5/21/2020
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐ Yes ☒ No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☒ Yes ☐ No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☒ Yes ☐ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☐ Yes ☒ No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☒ No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☒ Yes ☐ No
If Yes, what is the zoning classification(s) including any applicable overlay district?

C-2: Commercial

b. Is the use permitted or allowed by a special or conditional use permit? ☒ Yes ☐ No

c. Is a zoning change requested as part of the proposed action? ☐ Yes ☒ No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? North Syracuse - Cicero School District

b. What police or other public protection forces serve the project site?

North Syracuse Police Dept.

c. Which fire protection and emergency medical services serve the project site?

North Syracuse Fire Dept.

d. What parks serve the project site?

Lonergran Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Multi-Family Residential

b. a. Total acreage of the site of the proposed action? 2.39 acres

b. Total acreage to be physically disturbed? 2.39 acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? XXXX acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☐ No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? ☐ Yes ☒ No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? ☐ Yes ☐ No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? ☐ Yes ☒ No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____

- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year

- Anticipated completion date of final phase _____ month _____ year

- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No				
If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	54
At completion of all phases	_____	_____	_____	54

g. Does the proposed action include new non-residential construction (including expansions)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes,	
i. Total number of structures _____	
ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length	
iii. Approximate extent of building space to be heated or cooled: _____ square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes,	
i. Purpose of the impoundment: <u>Stormwater Management</u>	
ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input checked="" type="checkbox"/> Other specify: <u>Stormwater</u>	
iii. If other than water, identify the type of impounded/contained liquids and their source. _____	
iv. Approximate size of the proposed impoundment. Volume: _____ TBD million gallons; surface area: _____ TBD acres	
v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length	
vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): <u>Earth Fill</u>	

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
i. What is the purpose of the excavation or dredging? _____	
ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?	
<ul style="list-style-type: none"> • Volume (specify tons or cubic yards): _____ • Over what duration of time? _____ 	
iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____	
iv. Will there be onsite dewatering or processing of excavated materials? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, describe. _____	
v. What is the total area to be dredged or excavated? _____ acres	
vi. What is the maximum area to be worked at any one time? _____ acres	
vii. What would be the maximum depth of excavation or dredging? _____ feet	
viii. Will the excavation require blasting? <input type="checkbox"/> Yes <input type="checkbox"/> No	
ix. Summarize site reclamation goals and plan: _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☐ No
If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☐ No
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? ☒ Yes ☐ No
If Yes:

i. Total anticipated water usage/demand per day: _____ 13,200 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☒ Yes ☐ No
If Yes:

- Name of district or service area: OCWA
- Does the existing public water supply have capacity to serve the proposal? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No
- Do existing lines serve the project site? ☒ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project? ☒ Yes ☐ No
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☒ No
If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? ☒ Yes ☐ No
If Yes:

i. Total anticipated liquid waste generation per day: _____ 13,200 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
Sanitary Wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? ☐ Yes ☐ No
If Yes:

- Name of wastewater treatment plant to be used: Oak Orchard WWTP
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No

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<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>											
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>											
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input type="checkbox"/> Morning <input type="checkbox"/> Evening <input type="checkbox"/> Weekend <input type="checkbox"/> Randomly between hours of _____ to _____.</p> <p>ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____</p> <p>iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____</p> <p>iv. Does the proposed action include any shared use parking? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____</p> <p>vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>											
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____</p> <p>iii. Will the proposed action require a new, or an upgrade, to an existing substation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>											
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations:</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 70%;">• Monday - Friday: _____</td> <td style="width: 30%;">Residential _____</td> </tr> <tr> <td>• Saturday: _____</td> <td>Residential _____</td> </tr> <tr> <td>• Sunday: _____</td> <td>Residential _____</td> </tr> <tr> <td>• Holidays: _____</td> <td>Residential _____</td> </tr> </table> </td> </tr> </table>		<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 70%;">• Monday - Friday: _____</td> <td style="width: 30%;">Residential _____</td> </tr> <tr> <td>• Saturday: _____</td> <td>Residential _____</td> </tr> <tr> <td>• Sunday: _____</td> <td>Residential _____</td> </tr> <tr> <td>• Holidays: _____</td> <td>Residential _____</td> </tr> </table>	• Monday - Friday: _____	Residential _____	• Saturday: _____	Residential _____	• Sunday: _____	Residential _____	• Holidays: _____	Residential _____
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• Monday - Friday: _____	Residential _____										
• Saturday: _____	Residential _____										
• Sunday: _____	Residential _____										
• Holidays: _____	Residential _____										

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>n. Will the proposed action have outdoor lighting? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

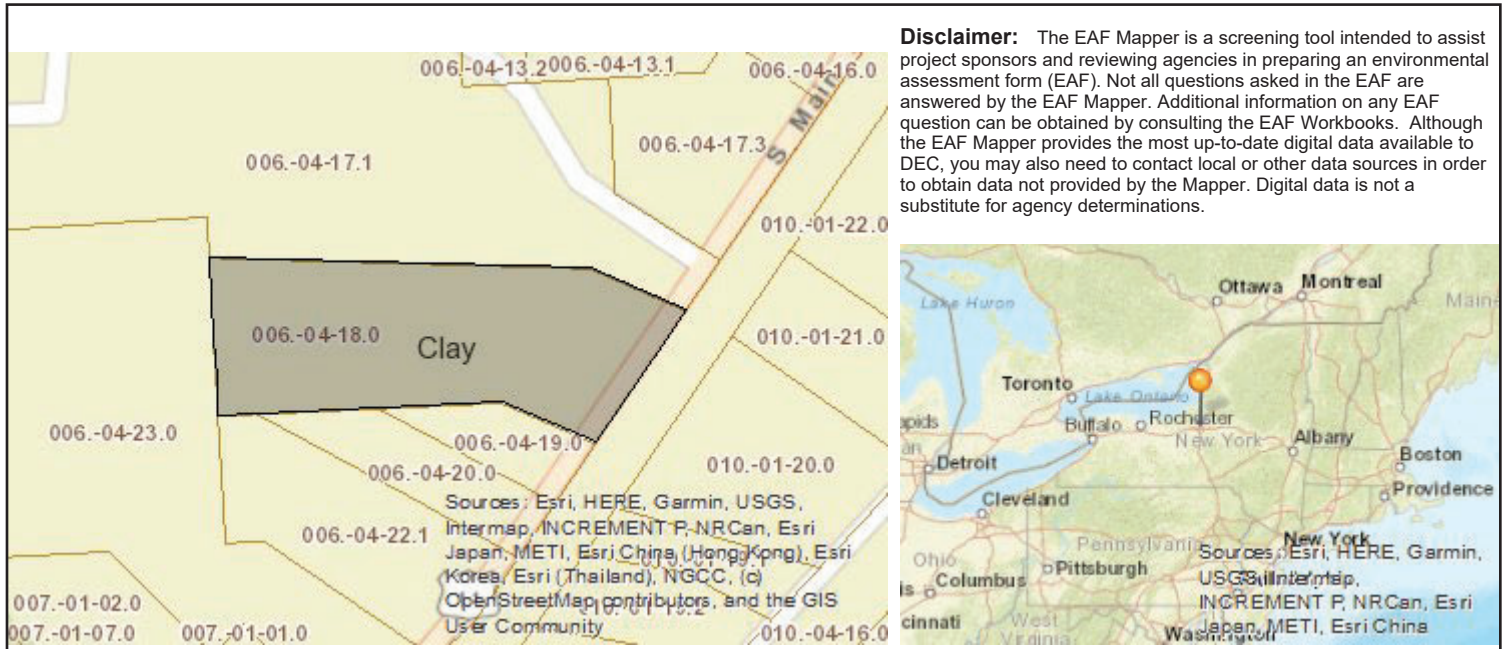
E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site			
a. Existing land uses.			
i. Check all uses that occur on, adjoining and near the project site.			
<input checked="" type="checkbox"/> Urban	<input type="checkbox"/> Industrial	<input checked="" type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential (suburban)
<input type="checkbox"/> Forest	<input type="checkbox"/> Agriculture	<input type="checkbox"/> Aquatic	<input type="checkbox"/> Rural (non-farm)
<input type="checkbox"/> Other (specify): _____			
ii. If mix of uses, generally describe:			
Village Atmosphere. Mixture of uses.			
b. Land uses and coverytypes on the project site.			
Land use or Coverytype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0	1.29	+1.29
• Forested	2.39	0	-2.39
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	.92	+.92
• Agricultural (includes active orchards, field, greenhouse etc.)	0		
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	.18	+.18
• Wetlands (freshwater or tidal)	0		
• Non-vegetated (bare rock, earth or fill)	0		
• Other Describe: _____			

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v. Is the project site subject to an institutional control limiting property uses? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No													
<ul style="list-style-type: none"> • If yes, DEC site ID number: _____ • Describe the type of institutional control (e.g., deed restriction or easement): _____ • Describe any use limitations: _____ • Describe any engineering controls: _____ • Will the project affect the institutional or engineering controls in place? <input type="checkbox"/> Yes <input type="checkbox"/> No • Explain: _____ 													
E.2. Natural Resources On or Near Project Site													
a. What is the average depth to bedrock on the project site? _____ >6 feet													
b. Are there bedrock outcroppings on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %													
c. Predominant soil type(s) present on project site: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 60%;">NgA</td> <td style="width: 40%; text-align: right;">53.6 %</td> </tr> <tr> <td>AIB</td> <td style="text-align: right;">34.8 %</td> </tr> <tr> <td>MtA</td> <td style="text-align: right;">11.6 %</td> </tr> </table>		NgA	53.6 %	AIB	34.8 %	MtA	11.6 %						
NgA	53.6 %												
AIB	34.8 %												
MtA	11.6 %												
d. What is the average depth to the water table on the project site? Average: _____ 1 feet													
e. Drainage status of project site soils: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 40%;"><input checked="" type="checkbox"/> Well Drained:</td> <td style="width: 60%; text-align: right;">34.8 % of site</td> </tr> <tr> <td><input type="checkbox"/> Moderately Well Drained:</td> <td style="text-align: right;">_____ % of site</td> </tr> <tr> <td><input checked="" type="checkbox"/> Poorly Drained</td> <td style="text-align: right;">65.2 % of site</td> </tr> </table>		<input checked="" type="checkbox"/> Well Drained:	34.8 % of site	<input type="checkbox"/> Moderately Well Drained:	_____ % of site	<input checked="" type="checkbox"/> Poorly Drained	65.2 % of site						
<input checked="" type="checkbox"/> Well Drained:	34.8 % of site												
<input type="checkbox"/> Moderately Well Drained:	_____ % of site												
<input checked="" type="checkbox"/> Poorly Drained	65.2 % of site												
f. Approximate proportion of proposed action site with slopes: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 40%;"><input checked="" type="checkbox"/> 0-10%:</td> <td style="width: 60%; text-align: right;">100 % of site</td> </tr> <tr> <td><input type="checkbox"/> 10-15%:</td> <td style="text-align: right;">_____ % of site</td> </tr> <tr> <td><input type="checkbox"/> 15% or greater:</td> <td style="text-align: right;">_____ % of site</td> </tr> </table>		<input checked="" type="checkbox"/> 0-10%:	100 % of site	<input type="checkbox"/> 10-15%:	_____ % of site	<input type="checkbox"/> 15% or greater:	_____ % of site						
<input checked="" type="checkbox"/> 0-10%:	100 % of site												
<input type="checkbox"/> 10-15%:	_____ % of site												
<input type="checkbox"/> 15% or greater:	_____ % of site												
g. Are there any unique geologic features on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, describe: _____													
h. Surface water features.													
i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No													
ii. Do any wetlands or other waterbodies adjoin the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No													
If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i.													
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No													
iv. For each identified regulated wetland and waterbody on the project site, provide the following information: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">• Streams:</td> <td style="width: 40%;">Name _____</td> <td style="width: 50%;">Classification _____</td> </tr> <tr> <td>• Lakes or Ponds:</td> <td>Name _____</td> <td>Classification _____</td> </tr> <tr> <td>• Wetlands:</td> <td>Name _____</td> <td>Approximate Size _____</td> </tr> <tr> <td>• Wetland No. (if regulated by DEC)</td> <td colspan="2">_____</td> </tr> </table>		• Streams:	Name _____	Classification _____	• Lakes or Ponds:	Name _____	Classification _____	• Wetlands:	Name _____	Approximate Size _____	• Wetland No. (if regulated by DEC)	_____	
• Streams:	Name _____	Classification _____											
• Lakes or Ponds:	Name _____	Classification _____											
• Wetlands:	Name _____	Approximate Size _____											
• Wetland No. (if regulated by DEC)	_____												
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, name of impaired water body/bodies and basis for listing as impaired: _____													
i. Is the project site in a designated Floodway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No													
j. Is the project site in the 100-year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No													
k. Is the project site in the 500-year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No													
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes:													
i. Name of aquifer: _____													

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 33%;">Deer _____</td> <td style="width: 33%;">Birds _____</td> <td style="width: 33%;">_____</td> </tr> <tr> <td>Squirrels _____</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>Insects _____</td> <td>_____</td> <td>_____</td> </tr> </table>		Deer _____	Birds _____	_____	Squirrels _____	_____	_____	Insects _____	_____	_____
Deer _____	Birds _____	_____								
Squirrels _____	_____	_____								
Insects _____	_____	_____								
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 										
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing (endangered or threatened): _____</p> <p>_____</p> <p>_____</p>										
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing: _____</p> <p>_____</p> <p>_____</p>										
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p> <p>_____</p>										
<p>E.3. Designated Public Resources On or Near Project Site</p>										
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>										
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>										
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p> <p>_____</p>										
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>										



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No

E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No